

#### City of Huron Agenda for the Planning Commission/DRB Wednesday, November 20, 2024 5:00pm.

- I. Call to Order
- II. Roll Call
- III. Adoption of the Minutes (9-5-24)
- **IV.** Audience Comments (3-minute time limit) \*Please step to the podium and state your name and address for the record.
- V. <u>New Business</u>

204 Rye Beach PPN 43-00177.000 Zoning: R-1A Roof Mounted Solar Panels

944 S. Main PPN 42-00710.000 Zoning: B-3 New Heated Storage Bldg.

(Holiday Harbor Marina)

Motion to set a Public Hearing: Amendment to the Turtle Bay Condominium R-3 PUD Development. (December 18, 2024) at 5pm.

Code Amendment- Chapter 1131- New Section 1131.11- Residential Lighting Regs

VI. Other Matters

Next Meeting: December 18, 2024

VII. Adjournment



**TO:** Chairman Boyle and Members of the Planning Commission

**FROM:** Christine Gibboney, Administrative Assistant **RE:** 204 Rye Beach- Roof Mounted Solar Panels

**DATE:** November 20, 2024

Address: 204 Rye Beach Road PPN 43-00177.000 Current Zoning: R-1A

Owner/Applicant: Robert Ribnicky, Owner

**Applicant- Power Up Renewable Energy** 

#### Subject Matter/Background

Applicant is proposing to install a 4.100KW roof mounted solar panel system. The system consists of ten (10) panels.

#### **Land Use and Zoning**

R-1A One Family Residential District – Residential Use

#### **Staff Analysis/ Recommendation:**

Pursuant to Code Section 1126.18 Solar Structures (d) (1), approval of the Design Review Board is required before the issuance of permits. The residence is a single-family home on Rye Beach Road. The Residential Zoning application is complete and the plan review by Zoning has found the application to be compliant with Section 1126.18.

The proposed roof mounted solar panel system contains 10 panels, roof array area=199.93 sq. ft. to be installed on the pitched roof of a single-story residential structure.

- The total roof area is 1304.99sq.ft.; roof area covered by the array is 15.320%.
- The panel attachment detail reflects less than a 6" rise from the roof to the top side of the panel (18' max per the code).
- The code requires that the system shall not be located within 12" of the edge of the roof, as proposed the system meets this requirement.
- The home is located within a neighborhood that has an HOA, however, the association is limited to the private park maintenance and use.

**Applicable Code Sections**: 1126.18 Solar Structures (attached)

Upon approval from the DRB, the application will be submitted to the Building Department for the review and issuance of the Building Permit(s).

Attachments:

**Application & Plans** 

#### 1126.18 SOLAR STRUCTURES.

(a) <u>Purpose</u>. It is the purpose of this chapter to regulate the construction, modification, operation and abandonment by discontinuation of use of solar energy systems in the City of Huron, subject to reasonable conditions that will protect the public health, safety, and welfare while preserving the enjoyment of private property, promoting orderly land use, and development; allowing the safe, effective, and efficient use of solar energy systems. Solar energy systems shall be considered a permitted use in any zoning district, subject to the requirements of any other applicable chapter of this Code.

#### (b) Definitions.

- (1) "Abandonment" means choosing to give up or discontinue use of the solar energy generation system in whole or part.
- (2) "Alternating-current (ac) module" means a complete, environmentally protected unit consisting of solar cells, optics, inverter, and other components, exclusive of tracker, designed to generate ac power when exposed to sunlight.
- (3) "Applicant" means the person or entity filing an application under this Chapter.
- (4) "Array" means a mechanically integrated assembly of modules or panels with a support structure and foundation, tracker, and other components, as required, to form a direct-current power producing unit.
- (5) "Facility owner" means the entity or entities having equity interest in the solar energy facility, including their respective successors and assigns.
- (6) "Ground mount" means a solar electrical system that is mounted directly to ground mounted structure instead of solely on a building wall or roof.
- (7) "Operator" means the entity responsible for the day-to-day operation and maintenance of the solar energy system.
- (8) "Solar cell" means the basic photovoltaic device that generates electricity when exposed to light.
- (9) "Solar energy system (active or passive)" means the equipment, assembly or building construction and requisite hardware that provides and is used for collecting, transferring, converting, storing, or using incident solar energy for water heating, space heating, cooling, generating, electricity, or other applications that would otherwise require the use of a conventional source of energy such as petroleum products, natural gas, manufactured gas, or electricity produced from a nonrenewable resource. Such systems include Passive Solar Energy Systems that capture the Sun's energy in building design and construction components; Solar Thermal Energy Systems that convert sunlight to heat as in a hot water tank or swimming pool; and Photovoltaic Solar Energy Systems that convert sunlight to electricity.
  - (10) "Solar panel" means one of any type of assembly that produces energy, either electrical, heat or hot water for use or distribution include PV (Photovoltaic) an electrical device consisting of an array of connected solar cells, heat collectors and interstitial spaces including trombe panels, or hydronic panels for water heating systems.
- (11) "Solar photovoltaic systems" means the total components and subsystems that, in combination convert solar energy into electrical energy suitable for connection to utilization load.

#### (c) Applicability.

- (1) No person shall construct, erect, maintain, extend, or remove a solar system in any zoning district in the City without compliance with the provisions of this chapter and applicable related requirements of the entire ordinance.
- (2) Solar energy systems constructed prior to the effective date of this chapter shall not be required to meet the requirements of this code; unless any physical condition or modification renders such system un-repairable or un-usable. If any pre-existing solar energy system is damaged or destroyed such an extent that is cannot be returned to original service, or any such damage or modification creates an unsafe condition it shall be replaced or removed in conformity to this chapter and pursuant to Section 1121.07.
- (3) Like-kind replacements of panels shall require applicable electrical or general building permits.
  - (4) Like-kind replacements of entire ground-mount solar energy systems shall require proper zoning approval and applicable electrical/building permits. Existing installations shall provide emergency disconnect locations to the City of Huron Building Department.

#### (d) Contents of Application.

- (1) Solar structures shall only be an accessory use in residential (R) and commercial (B) zoning districts. Ground-mounted solar panels are a conditional accessory use at any residential or non-residential building, excluding Industrial (I) zones, where they are permitted by right. In all districts, solar equipment including solar panels, may be located on the roof in compliance with all requirements of this Code including building height and screening, after approval by the Design Review Board. Nothing in this regulation shall preclude standalone systems for small accessory lighting, ventilation or battery storage systems either roof or ground-mounted not to exceed twelve (12) square feet.
- (2) An application for a solar energy system shall be approved in compliance with the standards and criteria of this Chapter and shall include:
- A. A narrative describing the proposed solar energy system including the approximate generating capacity of the project and the number, manufacturer, and model of the solar panels to be installed, their individual generating capacity and a description of ancillary systems.
  - B. A site plan to scale of the subject property showing the planned location of the solar panels, setback lines, proposed and existing ancillary equipment buildings, and structures. For systems with more than thirty-five percent (35%) of roof area facing the street, elevation(s) shall be provided to scale.
- C. Certified approval from the Homeowners Association (HOA) and/or an approval letter from the HOA legal representative, if applicable.

- (e) Design and Performance Standards.
  - (1) <u>Lighting.</u> Solar energy systems shall be lit only if required by an applicable authority. Lighting of other parts of the solar energy systems, such as appurtenant structures shall be limited to that required for safety and operational purposes, and shall be reasonably shielded from abutting structures.
  - (2) Appearance and Signage. The factory or original equipment manufacturer identification and/or logo are permitted. Required signage and emergency services disconnect placard shall be appropriate warning signs (Danger-High Voltage or Caution-Electrical Shock Hazard or any other recognized safety precaution signage) installed at the base of the solar array.
  - (3) <u>Construction Codes.</u> To extent applicable, the solar system shall comply with the Ohio Building Code and any other applicable building and fire codes.
    - (4) <u>Electrical Codes.</u> Permit applications for solar energy systems shall be accompanied by a line-drawing of the electrical components, as supplied by the manufacturer, in sufficient detail to allow for determination that the manner of installation conforms to all relevant and applicable local, state, and national codes, including the current national electric code NEC (NFPA 70). Solar energy systems interconnected to local utility shall have/provide surge and lightning arrestors. All solar energy systems shall be grounded to reduce lightning strikes. All electrical lines and utility wires shall be buried underground.
  - (5) <u>Utility Notification.</u> Permits for solar energy systems shall not be issued until evidence has been provided that the utility company approves the customer's intent to install an interconnected customer-owned generator. Applicant shall supply the letter of approval from the utility company at the time of application.
  - (6) Completion. A solar energy system installation shall commence within six months of the issuance of the zoning permit and shall be completed and operational within one year from the date of commencement of installation. Commencement of installation shall be the date the solar panels are placed into position. If the solar energy system is not completed within the stated time period, the facility owner or operator or the landowner shall be required, at his or their expense, to complete decommissioning of the site within 180 days without exception.
  - (7) <u>Solar Access Easements.</u> Ohio R.C. 5301.63 sets forth the requirements for solar access, for the pwpose of ensuring adequate access of solar energy collection devices to sunlight, any person may grant a solar access easement. Such easements shall be in writing and subject to the same conveyance and recording requirements as other easements. Any instrument creating a solar easement shall be recorded in the Erie County Recorder's Office.
  - (8) <u>Installation.</u> Solar Panels must be installed in accordance with the manufacturer's design and operation standards, as well as all local county, state, and federal guidelines. Reasonable access for emergency response shall be provided to all solar systems and components including a twenty-four (24) inches clear area around all flat-roof or ground-mounted solar array(s).
  - (9) Roof-Mounted. Roof-mounted solar energy systems shall be permitted in all zoning districts provided the roof-mounted solar system meets all other requirements of the zoning and building regulations, including design review, and all applicable local and state fire and building codes. Pitched roof-mounted arrays shall be parallel to the roof. The distance between the roof and the uppermost portion of the solar panels shall not exceed eighteen (18) inches. Pitched-roof-mounted solar systems shall not be located within twelve (12) inches of the edge of the roof. Roof-mounted panels on a flat roof shall not project vertically more than five (5) feet from the surface of the roof and shall be buffered as prescribed by the Zoning Code.

#### (10) Ground-Mounted.

- A. Ground-mounted solar panels located on the ground or attached to a framework located on the ground shall not exceed fifteen (15) feet in height above the adjacent grade.
  - B. All related mechanical equipment, other than the actual photoelectric panels shall be fully buffered from the adjacent properties by fencing and/or by evergreen plantings as prescribe by city ordinance and must be maintained and effective through the life of the system. Buffering shall permit work access to panel and shall conform to Chapter 1131.
- C. Ground-mounted solar panel arrays shall not exceed thirty percent (30%) of the remaining rear yard area within the setbacks defined by other chapters of the Zoning Code.
- D. <u>Non-Residential.</u> Ground-mounted solar energy systems shall be permitted by right in all Industrial (I) Zones. Any proposed ground-mounted solar energy system may be located within any yard subject to applicable setback requirements for accessory structures and front setback requirements for principal structures within the designated I District.
- E. <u>Residential.</u> No ground installations are permitted by right. Any proposed ground-mounted solar panels are conditional uses based on full compliance with this Zoning Code and approval from the Board of Building and Zoning Appeals.
- (i) If approved, ground-mounted solar energy systems shall not be permitted in the front or side yard of a residential property. It shall be permitted in the rear yard of a residence. Such equipment shall be subject to the applicable rear yard coverage regulations and setbacks for accessory structures in residential districts as set forth in Section 1121.06 or other prevailing chapters of the Zoning Code.
- F. <u>Commercial and Retail Business.</u> No ground installations are permitted by right in Business (B) Zones. Any proposed ground-mounted solar panels are conditional uses based on full compliance with this Zoning Code and approval from the Board of Building and Zoning Appeals.

- (i) If approved, ground-mounted solar energy systems shall not be permitted in the front or side yard of a residential property. It shall be permitted in the rear yard of a residence. Such equipment shall be subject to the applicable rear yard coverage regulations and setbacks for accessory structures in residential districts as set forth in Section 1121.06 and/or other prevailing chapters of the Zoning Code.
- (f) Fees. See Chapter 1321 for the fee schedule pertaining to conditional use, accessory structures, and electrical fees.
- (g) Abandonment.
  - (1) At such a time a solar energy system is scheduled to be abandoned or operation is to be discontinued, the applicant will notify the Building Official and Planning Department of the proposed date of abandonment or discontinuation of use. If applicant fails to notify either department, then in that event the provisions contained under subsection (g)(2) herein below shall apply.
  - (2) Upon abandonment or discontinuation of use, the owner shall physically remove the solar energy system within 180 days from the date of abandonment or discontinuation of use. This period may be extended sixty (60) days at the request of the owner but only upon the approval of the Building Official. "Physically remove" shall include, but not be limited to:
    - A. Removal of the solar energy system and related above grade structures.
  - B. Restoration of the location of the solar energy system to its natural condition, except that any landscaping, grading may remain in the after-conditions.
  - (3) In the event that an applicant fails to give such notice, the system shall be considered abandoned or discontinued if the system is out-of-service for a continuous six-month period. After the six-month period of inoperability, the Building Official shall issue a Notice of Abandonment to the owner and operator of the solar energy system and, if residential, the property owner. The owner shall have the right to respond to the Notice of Abandonment within thirty (30) days from Notice receipt time. The Building Official shall withdraw the Notice of Abandonment and notify the owner that the Notice has been withdrawn if the owner provides information that demonstrates the solar energy system has not been abandoned.
  - (4) If the owner fails to respond to the Notice of Abandonment or if after review by the Building Official it is determined that the solar energy system has been abandoned or use discontinued, the owner of the solar energy system shall remove the system at the owner's sole expense within sixty (60) days of receipt of the Notice of Abandonment. An extension may be granted to the applicant for just cause by the Building Official.
- (h) <u>Severability.</u> Should any section, subdivision, clause, or phrase of this chapter be declared by the courts to be invalid, the validity of the chapter as a whole, or in part, shall not be affected other than the part invalidated.
- (i) <u>Penalty.</u> See Section 1139.01 for Zoning Code violations. (Ord. 2022-60. Passed 1-10-23.)

City of Huron Planning and Zoning Dept. 417 Main St. Huron, Ohio 44839

P: 419-433-5000 F: 419-433-5120



### **Residential Zoning Permit Application**

Property	<b>Owner</b> Robert Ribnicky											
	City, State, Zip: _	204 Ry	e Beach	Road,	Huron,	OH 448	 39			·		
	(419) 901-0711			<i>,</i>	·							
	robertribnicky@yah	noo.com										
Contract Name:	or (must be regi			e City	of Hur	on)						
	City, State, Zip: _	6447	Valley 0	Chase C	Ct, Gale	na, OH 4	13021					
Phone:	(801) 754-6400											
Email: _	permitting@g3sol	ar.com										
	of Project 204 Rye Beach Ro Huron, OH 44839	oad	Cou	ınty Pa	rcel Nu	ımber: _			Lot #:			
<b>Zoning I</b>	District & Flood 2	Zone										
Zoning D	istrict:	(R-1	R-1A	R-2	R-3	B-1	B-2	B-3	I-1	I-2	P-1	MU)
Flood Zo	ne:	(A	AE	AO	AH	X-SHA	ADED	X )				
New Con	struction:		Pr	oject l	nform	ation Deck/	Porch:					
Addition	to Existing Stru	cture: [				Swimn	ning P	ool				
Detache	d Garage/Shed/S	Storage	: 🔲			Demol	ition:	Heigl	nt of Stru	icture	:	
Fence:	Linear Ft.:					Other:	PV S	olar				
-	on of proposed pa Solar Installation	roject:	(include	e comp	lete de	tails, sq	uare fo	ootage and	l height)			
ESTIMAT	TED VALUE OF P	ROPOS	ED PRO	JECT:	\$_21,60	60						
SETBACI	KS FROM PROPE	RTY LII	NES: (N	ot appl	licable f	or Fenc	es or D	emolition	Projects	)		
	rd Setback:							eight of S	•		_	
Side Yard	l Setbacks: (Left)		_ (R	ight)								

follow	ving information:
	Dimensions of the Lot /Property Lines, measurements from the property lines to the foundation
	Size and Location of the Existing Structure(if applicable)
	Size, Location and Height of the Proposed Structure
	Front, Rear, and Side Setbacks of Existing Structure(if applicable)
	Front, Rear, and Side Setbacks of Proposed Structure
	Dimensions from existing structures to the Proposed Structure
	Height of the Proposed Structure or Structure to be demolished. (if applicable)
	Location of Sidewalks and Driveways (if applicable) ROW Driveway Application Required
	Height of Fence (front yard 4' max; side and rear yards 6' max)
	MWATER PLAN: Applicable for all additions, new construction. Contact the City Engineer for etail required: 440-821-7871 engineer@huronohio.us
	Site Plan with drainage patterns, flow lines for surface water.
	Location of any temporary stormwater inlets and piping, including discharge points.
	Location and description of measures to prevent stormwater drainage to adjacent properties (Example: silt fence).
	Location of catch basins near property and containment measures planned.
	Concrete washout location and description of containment measures.
POST	CONSTRUCTION PERMANENT STORMWATER CONTROLS
	Surface flow(s) of planned stormwater flow.
	Downspout locations and route/piping/discharge points planned for stormwater
	Yard inlets/other drainage items to control stormwater, if applicable.
	Floor elevation of proposed structure and elevation of adjacent streets.
VERII	FICATION OF PROPERTY LINES:
	It is the responsibility of the property owner to verify the location of property lines and reflect these on the required site plan. It is recommended owners refer to their survey map and/or have a survey performed to verify the property lines before applications are submitted.

**SITE PLAN:** A complete site plan must accompany this application. The site plan <u>must</u> include the

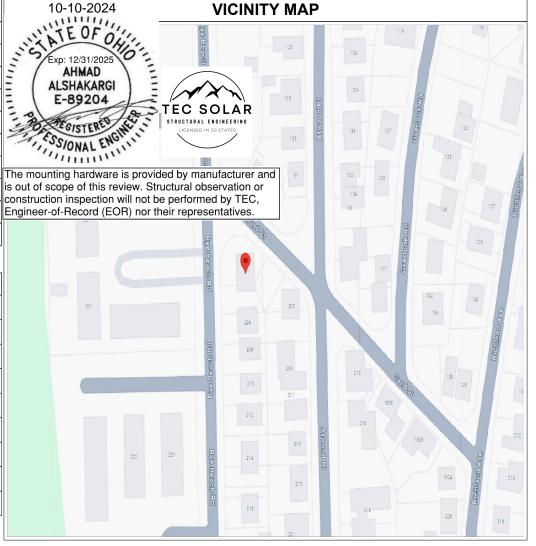
I hereby certify that I am the owner of record of the named propert work is authorized by the owner of record and/or I have been auth application as an authorized agent, and we agree to conform to all a regulations, and ordinances. All information contained within this a supplemental materials is true and accurate to the best of my know	orized to applicable applicatio	make this laws, n and
Incomplete applications will not be accepted, please con applicable sections and include all specified plans as list	-	
Applicant Signature. Bath Blicakatt		
Applicant Signature:  Owner Signature:  Signed by:  1	Date:	10/3/2024
CCD142953CF84DE	_ Date:	10/2/2024
PLEASE NOTE, DO NOT APPLY FOR PERMITS UNLESS YOU ARE READY TO WITHIN 6 MONTHS. PERMITS FEES ARE DUE AND PAYABLE AT THE TIME NON-REFUNDABLE. ZONING PERMITS EXPIRE 12 MONTHS FROM DATE OF PROJECT REQUIRES A BUILDING PERMIT, SUBMIT THE BUILDING PERMIT REQUIRED CONSTRUCTION PLANS WITH THIS APPLICA	OF ISSUA OF ISSUA IT APPLI	ANCE AND ARE NCE. IF YOUR
For use by City of Huron Zoning Department:		
Date of Submission: Required Plans Included?:		
Comments/Additional Information requested:		
Denial date and reason:		

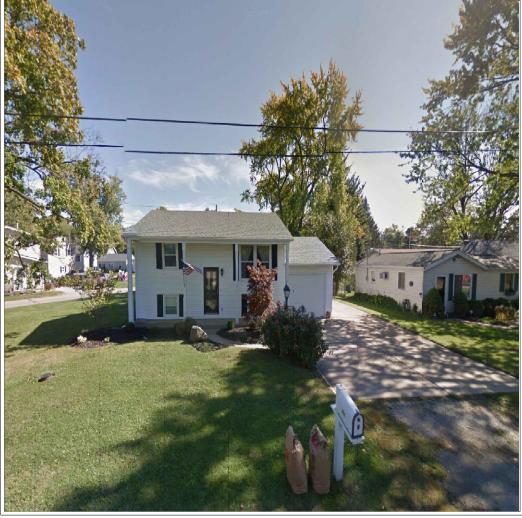
# RIBNICKY RESIDENCE SOLAR PHOTOVOLTAIC SYSTEM

4.100 kW DC-STC / 2.900 kW AC

	CONTENTS
C-1	COVER SHEET
PV-1	SITE PLAN
PV-2	ATTACHMENT DETAILS
PV-3	ATTIC & METER PICTURES
E-1	ELECTRICAL DIAGRAM
E-2	WARNING LABELS
A-1	PANEL SPECIFICATION SHEETS
A-2	RACKING SPECIFICATION SHEETS
A-3	MOUNTING POINT SPECIFICATION SHEETS
A-4	INVERTER SPECIFICATION SHEETS

A-4	INVERTER SPECIFICATION SHEETS					
PROJECT INFORMATION						
OWNER		ROBERT RIBNICKY				
HOUSE ADDRESS	204 RYE BEACH RD, HURON OH, 44839					
INTERCONNECTION TYPE	LINE SIDE TAP					
PV MODULE	10	MSOLAR TXI10-410108BB (410W)				
MICROINVERTER	10	ENPHASE ENERGY IQ8PLUS-72-2-US (290VA)				
ROOF TYPE	COMPOSITE SHINGLE					
RACKING SYSTEM	SNAPNRACK UR ROOF MOUNTING SYSTEM					
MOUNTING POINTS	25	SNAPNRACK ANCHOR FOOT				
MOUNTING RAILS	6	ALUMINUM RAILS = 14' LENGTH				

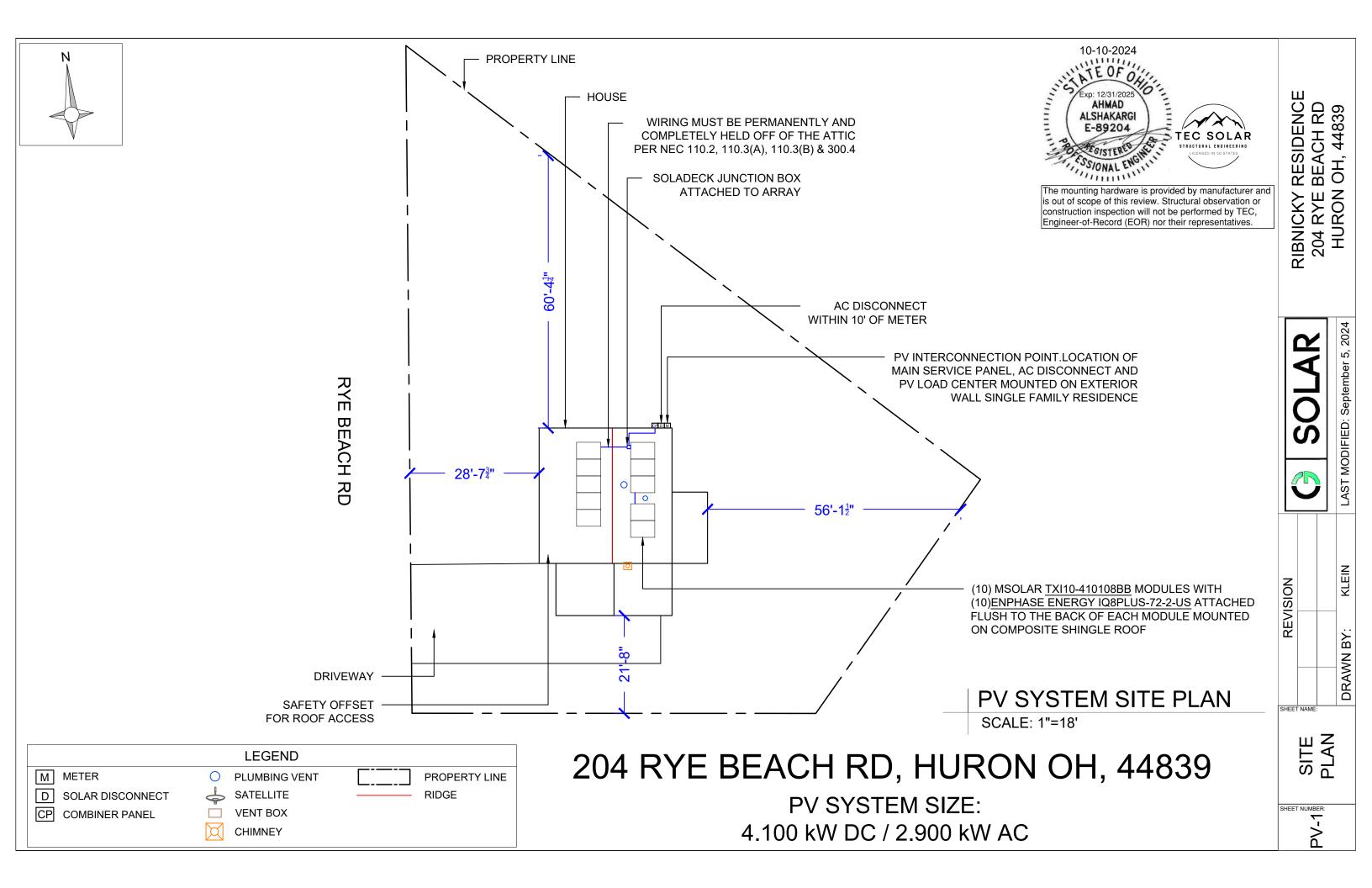


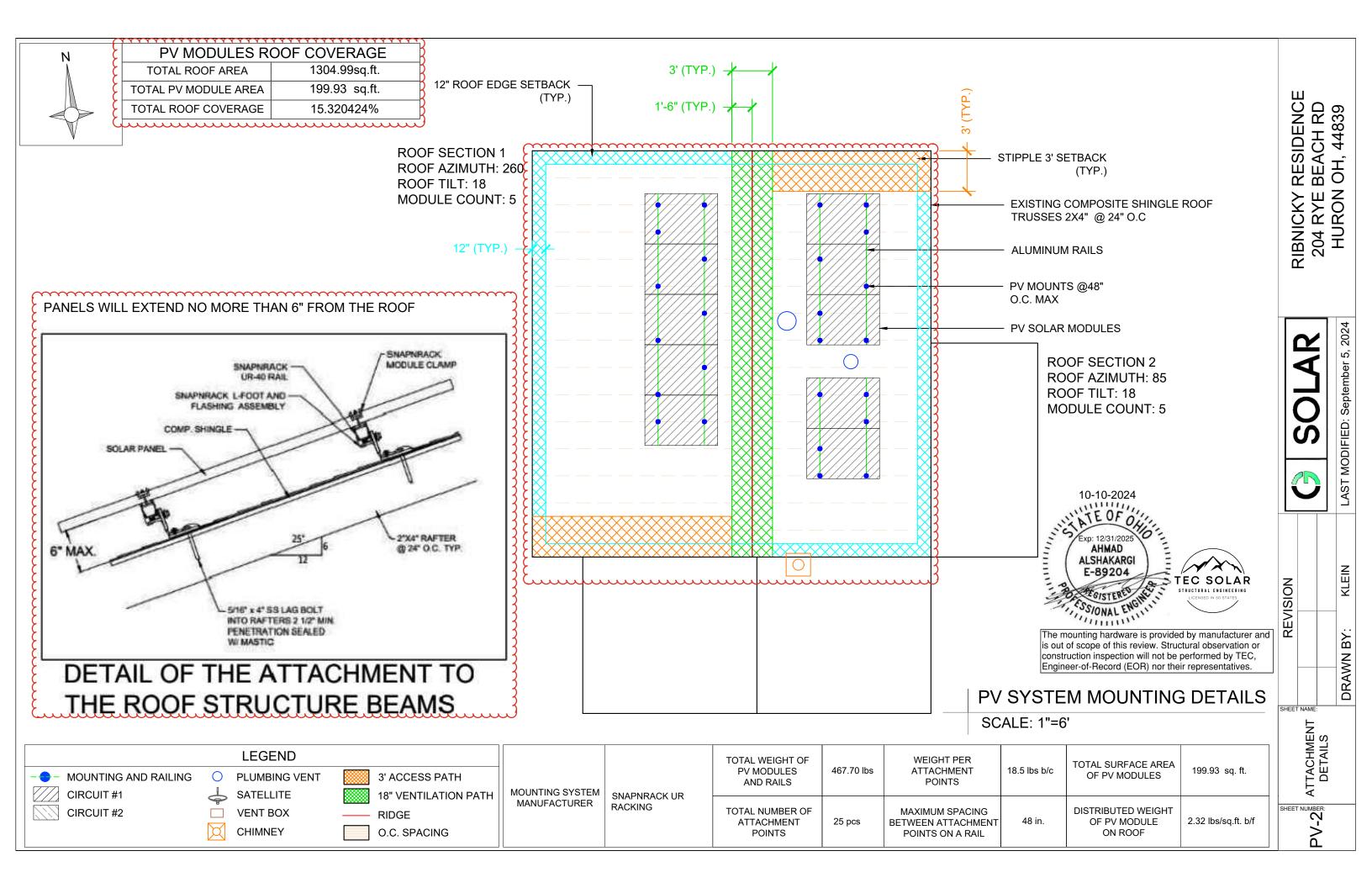


STREET VIEW

### NOTES

- 1. ROOF TRUSSES 2X4" ON 24" &
- 2. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST 2023 CODE OF REGULATIONS, NATIONAL ELECTRICAL CODE EDITION AND ALL APPLICABLE LOCAL CODES AND REGULATIONS. (Construction shall comply with 2024 OBC, 2018 IFC, 2023 NEC and 2019 RCO)
- 3. ALL PANELS, SWITCHES, ETC. SHALL HAVE SUFFICIENT GUTTER SPACE AND LUGS IN COMPLIANCE TO UL REQUIREMENTS TO ACCOMMODATE CONDUCTORS SHOWN.
- 4. WHERE WIRE SIZES ARE INDICATED ON PLANS, FOR INDIVIDUAL CIRCUITS, THE WIRE SIZE INDICATED SHALL APPLY TO THE COMPLETE CIRCUIT, UNLESS OTHERWISE NOTED.
- 5. CONTRACTOR SHALL EXTEND WIRING FROM ALL JUNCTION BOXES, SWITCHES, ETC. AND MAKE FINAL CONNECTION AS REQUIRED TO ALL BUILDING EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS.
- 6. DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED. FOLLOW DRAWING IN LAYING OUT WORK AND CHECK DRAWINGS OR OTHER TRADES RELATING TO WORK TO VERIFY SPACE IN WHICH WORK WILL BE INSTALLED. MAINTAIN HEADROOM AND MINIMUM CODE REQUIRED WORKING CLEARANCES AT ALL TIMES.
- 7. ALL EXTERIOR ELECTRICAL DEVICES AND EQUIPMENT INCLUDING THOSE THAT ARE EXPOSED TO OUTSIDE ENVIRONMENT SHALL BE WEATHERPROOF TYPE, NEMA 3R.
- 8. DISCONNECT SWITCHES SHALL BE MOUNTED ON INDIVIDUAL SUPPORTS, OR OTHERWISE DIRECTLY ON EQUIPMENT, PROVIDED.
- 9. NO MODIFICATION TO EQUIPMENT IS NECESSARY. ALL ELECTRIC MATERIAL SHALL BE LISTED BY "UL" FOR THE TYPE OF APPLICATION AND "UL" LABEL SHALL APPEAR ON ALL ELECTRICAL EQUIPMENT.
- 10. WIRING METHOD SHALL BE EMT ABOVE GROUND AND MOUNTED IN CONCEALED SPACES (UNLESS APPROVED OTHERWISE) AND SCHEDULE 40 PVC FOR BELOW GROUND INSTALLATION UNLESS NOTED OTHERWISE.













PV-3ammin ATTIC AND ATTIC

REVISION

CAST MODIFIED: Sep 17:

RIE 2 September 5, 2024

RIBNICKY RESIDENCE 204 RYE BEACH RD HURON OH, 44839

# RESIDENCE BEACH RD I OH, 44839 204 RYE BEAC HURON OH, <sup>4</sup> RIBNICKY

Note	S:
1.	This system meets the requirements of NEC 690.35 and is exempt from the
	system grounding requirements of NEC 690.41 System Grounding.
2	The DC conductors are not bonded to around and the entimizers do not

The DC conductors are not bonded to ground and the optimizers do not

NEC 690.43(C) Structure as Equipment Grounding Conductor allows for equipment to be used as the EGC in a photovoltaic system.

stand-alone grounding components or UL-2703 listed mounting hardware. Optimizers and modules are bonded to the racking with listed and appoved grounding components. Equipment operating 150 volts or greater shall only be serviced or replaced by

The devices listed and identified for grounding the equipment may be

qualified personnel. Field protection may be in the form of conduit, closed cabinet or an enclosure which require use of tools to open.

Solar Photovoltaic System equipment will be installed in accordance with the requirements of Art. 690 of the 2020 NEC.

Local utility provider shall be notified prior to use and activation of any solar photovoltaic installation. No sheet metal or tech screws shall be used to ground disconnect enclosure

with tin-plated aluminum lugs; proper grounding/bar kits must be used. All solar modules, equipment, and metallic components are to be grounded in

accordance with code and the manufacturer's installation instructions. 10. PV modules Cannot be installed over or block any attic vents, plumbing vents,

11. Wiring must be permanently and completely held off of the roof surface per NEC 110.2, 110.3(A), 110.3(B) & 300.4

12. Conductors with higher temperature ratings if the equipment is listed and identified for use with such conductors per NEC 110.14 (C)(1)(3) 10-10-2024

dillillilli

xp: 12/31/2025 AHMAD **ALSHAKARGI** E-89204

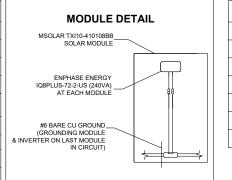
SSONAL ENGINE WOONAL EN

is out of scope of this review. Structural observation or construction inspection will not be performed by TEC, Engineer-of-Record (EOR) nor their representatives.

TEC SOLAR STRUCTURAL ENGINEERING



10 AMP (NUMBER OF INVERTER)\*1.2 x 1.25 (OCP) =15.125A (USE 20A FUSES ON DISCONNECT) (LINE SIDE TAP IN MAIN PANEL)



DESIGN INFO

INVERTER SPECIFICATIONS

290

20

290

MSOLAR

PV MODULE SPECIFICATIONS

CUSTOMER NAME SYSTEM SIZE

MANUFACTURER

MAX DC INPUT VOLTAGE 60V

MAX OUTPUT POWER

INVERTER WATTAGE

MAX FUSE (OCPD)

MANUFACTURER

MODEL

MODEL

ROBERT RIBNICKY

ENPHASE

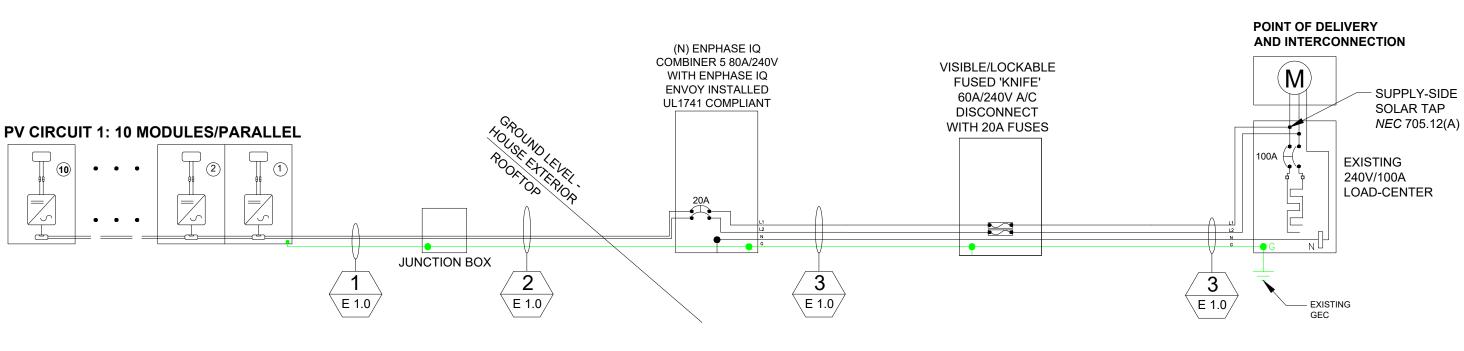
IQ8PLUS-72-2-US (290VA)

TXI10-410108BB (410W)

4.100 kW DC / 2.900 kW AC

		Conduit and Cor	nductor Schedule		
Tag	Description	Wire Gauge	# of Conductors	Conduit Type	Conduit Size
1	Enphase engage cable - THWN	12 AWG	2	N/A - Free Air	N/A - Free Air
1	Bare Copper Ground (EGC/GEC)	6 AWG	1	N/A - Free Air	N/A - Free Air
2	THWN	10 AWG	2	EMT	3/4"
2	THWN-2 - Ground	10 AWG	1	EMT	3/4"
3	THWN-2	6 AWG	3	EMT	3/4"
3	THWN-2 - Ground	10 AWG	1	EMT	3/4"





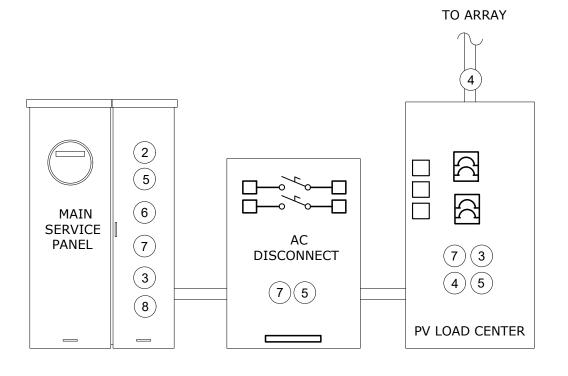
MODIFIED: September 5, The mounting hardware is provided by manufacturer and REVISION 국 BY: DRAWN SHEET NAME: DIAGRAM 3-LINE

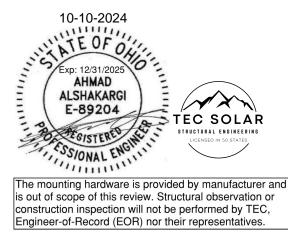
SHEET NUMBER:

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MAIN SERVICE PANEL AND ENPHASE ENERGY IQ8PLUS-72-2-US (290VA) UNDER EACH PANEL





# REQUIRED SIGNAGE:

2017 NEC CODES, ARTICLE 690

ALL SIGNAGE MUSTBE PERMANENTLY ATTACHED AND BE WEATHER RESISTANT/SUNLIGHT RESISTANT AND CANNOT BE HAND-WRITTEN. NEC 110,21(B)

LABEL-4:

### WARNING: PHOTOVOLTAIC **POWER SOURCE**

LABEL 4 IS REFLECTIVE WEATHER RESISTANT STICKER/PLAQUE TO BE PLACED ON ALL INTERIOR AND EXTERIOR CONDUIT, RACEWAYS, ENCLOSURES, AND CABLE ASSEMBLIES EVERY 10'. WITHIN 1' OF TURNS OR BENDS. AND 1' ABOVE AND BELOW ALL PENETRATIONS ON DC CONDUIT

LABEL-5:



15.13 A RATED AC OUTPUT CURRENT NOMINAL OPERATING AC VOLTAGE 240 V LABEL-2:

# RAPID SHUTDOWN **SWITCH FOR SOLAR PV SYSTEM**

LABEL 2 IS REFLECTIVE WEATHER RESISTANT STICKER TO BE PLACED ON THE INVERTER ABOVE THE SHUTDOWN SWITCH

LABEL-3:

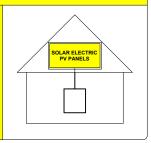
## **PHOTOVOLTAIC SOLAR BREAKER**

LABEL 3 INSTALLED NEXT TO THE SOLAR BREAKER INSIDE THE MAIN BREAKER PANEL

LABEL-6:

### **SOLAR PV SYSTEM EQUIPPED** WITH RAPID SHUTDOWN

TURN RAPID SHUTDOWN SWITCH TO THE "OFF" POSITION TO SHUTDOWN PV SYSTEM AND REDUCE SHOCK HAZARD IN ARRAY



LABEL-7:



**ELECTRICAL SHOCK HAZARD** 

TERMINALS ON THE LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION

LABEL-8:

# 

**POWER SOURCE OUTPUT CONNECTION** DO NOT RELOCATE THIS **OVERCURRENT DEVICE** 

LABEL 8 INSTALLED NEXT TO THE SOLAR BREAKER INSIDE THE MAIN BREAKER PANEL

# msolar



### **108BB** 410W **HC Series**

mSolar 10BB Half-Cell Black Monocrystalline PERC PV Module



#### **Excellent efficiency**

10 busbar technology increases power by decreasing the distance between busbars and the finger grid line



#### Improved weak illumination response

More power output even in lower light conditions such as overcast days or off-peak sunlight hours



#### Anti PID

Panels rigorously tested to limit power degradation caused by 'stray' currents



#### High wind and snow resistance

5.400 Pa Snow Load 2,400 Pa Wind Load



#### 25-year warranty

M Solar modules are guaranteed to retain at least 84.3% of the initial power output



#### Appealing Aesthetics

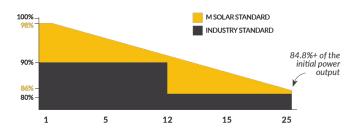
Fully black module creates a sleek, uniform array





25-year product warranty, 25-year output warranty

0.5% annual degradation over 25 years









UL 61730 | IEC 61215 | IEC 61730 ISO9001, ISO14001, ISO45001

www.msolarenergy.us

### 108BB 410W HC Series | msolar 10BB Half-Cell, All-Black Monocrystalline PERC PV Module

Electrical Characteristics   STC	*		
Module Type	TXI10-400108BB	TXI10-405108BB	TXI10-410108BB
Nominal Power Watt Pmax (W)*	400	405	410
Power Output Tolerance Pmax (W)	0~+5	0~+5	0~+5
Maximum Power Voltage Vmp (V)	31.01	31.21	31.45
Maximum Power Current Imp (A)	12.90	12.98	13.04
Open Circuit Voltage (V)	37.07	37.23	37.32
Short Circuit Current Isc (A)	13.97	13.87	13.95
Module Efficiency (%)	20.48	20.74	21.00

\*STC (Standard Test Condition): Irradiance 1000W/m², Module Temperature 25°C, AM 1.5 \*Measuring tolerance:  $\pm$ 

Electrical Characteristics   NMO	Γ*		
Maximum Power Watt Pmax (Wp)	270	274	278
Maximum Power Voltage Vmpp (V)	29.26	29.47	29.72
Maximum Power Current Impp (A)	10.32	10.38	10.43
Open Circuit Voltage Voc (V)	34.88	35.12	35.23
Short Circuit Current Isc (A)	11.03	11.10	11.16

Mechanical Data			
Solar Cells	Mono PERC, 182mm half cells		
Cells orientation	108 (6x9+6x9)		
Module dimension	67.80x44.65x1.38 in. (1,722x1,134x35 mm)		
Weight	46.30 lb (21.00 kg)		
Glass	3.2mm, High Transmission, Low Iron & Semi-Tempered Glass		
Junction Box	IP 68, 3 Diodes		
Cables	1,200mm		
Connectors	MC4 EVO2		

Temperature Ratings		Working Conditions	
NOCT	42°C±2°C	Maximum System Voltage	1500VDC
Temperature coefficient of Pmax	-0.350%/°C	Operating Temperature	-40°C ~+85°C
Temperature coefficient of Voc	-0.275%/°C	Maximum Series Fuse	25A
Temperature coefficient of Isc	+0.045%/°C	Maximum Load (Snow/Wind)	5,400Pa / 2,400Pa
		Fire Rating	UL Type 1**

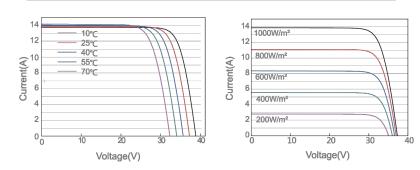
\*Do not connect Fuse in Combiner Box with two or more strings in parallel connection

\*Remark: Electrical data in this catalog do not
refer to a single module and they are not part

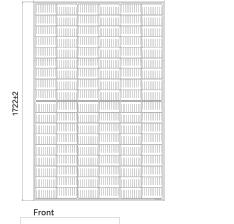
of the offer. They only serve for compariso \*\*Please note, the 'Fire Class' Rating is designated for the full installed PV system,

UL Type 1\*\* which includes, but is not limited to, the module, the type of mounting used, pitch and

#### I-V Curves of PV Module (405W)

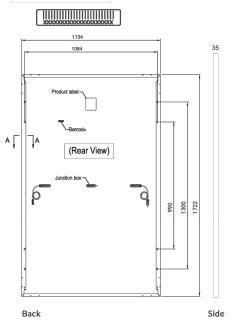


Note: please read safety and installation instructions before using this product. Subject to change without prior notice.



Dimensions (MM)

1134±2





Packaging I	Details	
31 Panels per pallet 26 Pallets per truck	Pallet Stack Weight 2,934 lbs. (1341.98 kg)	Truck Weight 38,461.2 lbs. (17,445.7 kg)



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**UR-40 UR-60** 

## **SnapNrack Ultra Rail System**

RIBNICKY RESIDENCE 204 RYE BEACH RD HURON OH, 44839

RIBNICKY

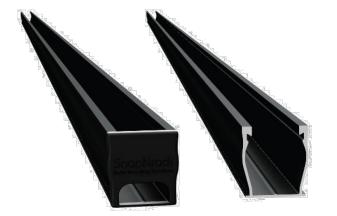
A sleek, straightforward rail solution for mounting solar modules on all roof types. Ultra Rail features two rail profiles; UR-40 is a lightweight rail profile that is suitable for most geographic regions and maintains all the great features of SnapNrack rail, while UR-60 is a heavier duty rail profile that provides a larger rail channel and increased span capabilities. Both are compatible with all existing mounts, module clamps, and accessories for ease of install.

# **Ultra Rail**

#### The Entire System is a Snap to Install

- New Ultra Rail Mounts include snap-in brackets for attaching rail
- Compatible with all the SnapNrack Mid Clamps and End Clamps customers love
- Universal End Clamps and snap-in End Caps provide a clean look to the array edge







### **Unparalleled Wire Management**

- Open rail channel provides room for running wires resulting in a long-lasting quality install
- Industry best wire management offering includes Junction Boxes, Universal Wire Clamps, MLPE Attachment Kits, and Conduit
- System is fully bonded and listed to UL 2703 Standard

## The Ultimate Value in Rooftop Solar



**Industry leading Wire Management Solutions** 



Mounts available for all roof types



All SnapNrack Module **Clamps & Accessories** are compatible with both rail profiles



### **Start Installing Ultra Rail Today**

**RESOURCES DESIGN** WHERE TO BUY

snapnrack.com/resources snapnrack.com/configurator snapnrack.com/where-to-buy

#### Heavy Duty UR-60 Rail

- UR-60 rail profile provides increased span capabilities for high wind speeds and snow
- Taller, stronger rail profile includes profilespecific rail splice and end cap
- All existing mounts, module clamps, and accessories are retained for the same great install experience



# Quality. Innovative. Superior.

SnapNrack Solar Mounting Solutions are engineered to optimize material use and labor resources and improve overall installation quality and safety.

877-732-2860

www.snapnrack.com

contact@snapnrack.com

© 2019 by SnapNrack Solar Mounting Solutions. All rights reserved

ΒΥ:

REVISION

RACKING

A-2

# AnchorFoot™



#### AnchorFoot™

- Pre-installed butyl for easy peel & stick installation allows for no disruption to composition shingles
- Industry-leading .200" thick butyl allows installation over shingles without cutting pieces
- Flexible direct to deck mounting options with (2) DeckAnchors or (4) #14 wood screws
- Flexible rafter mounting options with (1) 5/16" lag or (2) #14 wood screws
- Ships pre-assembled with Ultra Rail Mounting Clamp for easy rail attachment
- Rated for UL2703 Bonding & Grounding with TAS 100A Wind Driven Rain Testing for waterproof certification



# Deck Mounting, re-imagined.



Flexible direct to deck mounting & rafter mounting options



Pre-installed butyl for easy worry-free sealing



Compatible with proprietary DeckAnchor™ fasteners cutting the number of deck fasteners in half, from 4 to 2

Single Tool installation & snap-in features as with all **SnapNrack products** 



#### DeckAnchor

- Proprietary fastening technology to reduce the number of screws for direct to deck mounting
- Familiar ½" hex head to maintain the SnapNrack tradition of a single tool install
- · Wide threads securely grip the wood deck and significantly reduces the potential for over-tightening
- TAS 100A Wind Driven Rain Testing + ASTM D1761 Screw Capacities

# Quality. Performance. Innovation.

SnapNrack solutions are focused on simplifying the installation experience through intuitive products and the best wire management in the industry.

SnapNrack

877-732-2860

RIBNICKY RESIDENCE 204 RYE BEACH RD HURON OH, 44839 RIBNICKY

REVISION

HEET NAME:

 $\mathfrak{S}$ ₹



**Start Installing AnchorFoot™ Today!** 

### IQ8 and IQ8+ Microinverters

Our newest IQ8 Microinverters are the industry's first microgrid-forming, software-defined microinverters with split-phase power conversion capability to convert DC power to AC power efficiently. The brain of the semiconductor-based microinverter is our proprietary application-specific integrated circuit (ASIC), which enables the microinverter to operate in grid-tied or off-grid modes. This chip is built using advanced 55-nm technology with high-speed digital logic and has superfast response times to changing loads and grid events, alleviating constraints on battery sizing for home energy systems.



Part of the Enphase Energy System, IQ8 Series Microinverters integrate with the IQ Battery, IQ Gateway, and the Enphase App monitoring and analysis software.



Connect PV modules quickly and easily to IQ8 Series Microinverters using the included Q-DCC-2 adapter cable with plug-and-play MC4 connectors.



IQ8 Series Microinverters redefine reliability standards with more than one million cumulative hours of power-on testing, enabling an industry-leading limited warranty of up to 25 years.



IQ8 Series Microinverters are UL Listed as PV rapid shutdown equipment and conform with various regulations, when installed according to the manufacturer's instructions.

- \*Meets UL 1741 only when installed with IQ System Controller 2.
- \*\*IQ8 and IQ8+ support split-phase, 240 V installations only.

#### Easy to install

- Lightweight and compact with plugand-play connectors
- Power line communication (PLC)
   between components
- Faster installation with simple two-wire cabling

#### High productivity and reliability

- Produce power even when the grid is down\*
- More than one million cumulative hours of testing
- · Class II double-insulated enclosure
- Optimized for the latest high-powered PV modules

#### Microgrid-forming

- Compliant with the latest advanced grid support\*\*
- Remote automatic updates for the latest grid requirements
- Configurable to support a wide range of grid profiles
- Meet CA Rule 21 (UL 1741-SA) and IEEE® 1547:2018 (UL 1741-SB 3<sup>rd</sup> Ed.)

#### NOTE:

- IQ8 Microinverters cannot be mixed with previous generations of Enphase microinverters (IQ7 Series, IQ6 Series, and so on) in the same system
- IQ Gateway is required to change the default grid profile at the time of installation to meet local Authority Having Jurisdiction (AHJ) requirements.

#### IQ8 and IQ8+ Microinverters

INPUT DATA (DC)	UNITS	108-60-2-US	108PLUS-72-2-US					
Commonly used module pairings <sup>1</sup>	W	235–350	235-440					
Module compatibility	_	To meet compatibility, PV modules must be within maximur Module compatibility can be checked at https://er						
MPPT voltage range	V	27-37	27-45					
Operating range	V	16-48	16–58					
Minimum/Maximum start voltage	V	22/48	22/58					
Maximum input DC voltage	V	50	60					
Maximum continuous input DC current	Α	10	12					
Maximum input DC short-circuit current	Α	25						
Maximum module I <sub>sc</sub>	А	20						
Overvoltage class DC port	-	П						
DC port backfeed current	mA	0						
PV array configuration	-	1 × 1 ungrounded array; no additional DC side protection required	; AC side protection requires maximum 20 A per branch ci					
DUTPUT DATA (AC)	UNITS	108-60-2-US	108PLUS-72-2-US					
Peak output power	VA	245	300					
Maximum continuous output power	VA	240	290					
Nominal grid voltage (L-L)	V	240, split-phase (L-L), 180°						
Minimum and Maximum grid voltage <sup>2</sup>	V	211-2	64					
Maximum continuous output current	Α	1.0	1.21					
Nominal frequency	Hz	60						
Extended frequency range	Hz	47-6	68					
AC short-circuit fault current over three cycles	Arms	2						
Maximum units per 20 A (L-L) branch circuit <sup>3</sup>	-	16	13					
Total harmonic distortion	%	<5						
Overvoltage class AC port	-	III						
AC port backfeed current	mA	30	)					
Power factor setting	-	1.C						
Grid-tied power factor (adjustable)	-	0.85 leading	0.85 lagging					
Peak efficiency	%	97:	7					
CEC weighted efficiency	%	97						
Nighttime power consumption	mW	23	25					
MECHANICAL DATA								
Ambient temperature range		-40°C to 60°C (-	40°F to 140°F)					
Relative humidity range		4% to 100% (condensing)						
OC connector type	MC4							
Dimensions (H × W × D)		212 mm (8.3 in) × 175 mm (6.9 in) × 30.2 mm (1.2 in)						
Weight		1.08 kg (2.38 lbs)						
Cooling		Natural convection-no fans						
Approved for wet locations		Yes						
Pollution degree		PD	PD3					
Enclosure		Class II double-insulated, corrosion-resistant polymeric enclosure						

(1) No enforced DC/AC ratio.

Environmental category/UV exposure rating

(2) Nominal voltage range can be extended beyond nominal if required by the utility.
(3) Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

IQ8SP-12A-DSH-00207-2.0-EN-US-2023-10-13

NEMA Type 6/Outdoor

RIBNICKY RESIDENCE 204 RYE BEACH RD HURON OH, 44839

REVISION

C SOLUTION

C KLEIN

LAST MODIFIED: Sep

### IQ8 and IQ8+ Microinverters

Certifications

CA Rule 21 (UL 1741-SA), UL 62109-1, IEEE® 1547:2018 (UL 1741-SB 3rd Ed.), FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV rapid shutdown equipment and conforms with NEC 2014, NEC 2017, NEC 2020, and NEC 2023 section 690.12 and C22.1-2018 Rule 64-218 rapid shutdown of PV Systems, for AC and DC conductors, when installed according to the manufacturer's instructions.

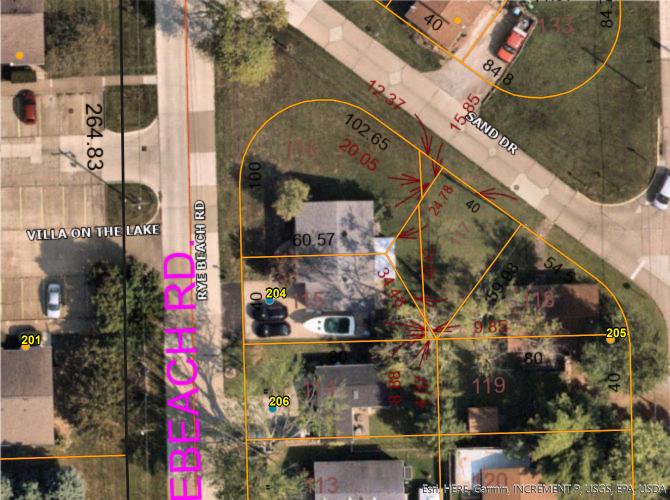
### IQ8 and IQ8+ Microinverters

### Revision history

REVISION	DATE	DESCRIPTION			
DSH-00207-2.0	October 2023	Included NEC 2023 specification in the Compliance section			
DSH-00207-1.0	September 2023	Updated module compatibility specification			

SHEET NUMBER:

A-4





### **APPLICATION FOR SOLAR PROJECTS**

Submit one application per building or structure.

Type of Project:								
Roof Top Units								
Ground Units								
Hot Water Heating System Building Integrated Photovoltaics - materials that are integrated in to the outer surface or								
Off-Grid. Not using or depending on public utilities.								
X Other PV Solar								
*Electrical Production and Distribution Networks please	contact the office beforehand.							
Building/Project Location								
Owner's NameROBERT RIBNICKY	Address 204 Rye Beach Road							
	Zip Code <u>44839</u>							
Phone Number (419) 901-0711	Email robertribnicky@yahoo.com							
* Has the proper application from the electric utility been								
* Has this project received zoning approval	Yes No							
* Is this project located with your local flood plain?	Yes No							
Brief Description of the scope of the work covered unde	er this application:							
Rooftop Solar Installation								
·								
	_							
Contractor Information								
Name Power Up Renewable Energy Address _	6447 Valley Chase Ct							
	The valley chace of							
	801) 754-6400							
Email_permitting@g3solar.com								
Required Submittal with this application:								
*Building permit application for a solar energy system or systems sha	Ill be accompanied by standard construction							
documents of the solar panel and related frame work, including but n	ot limited to: the mounting hardware and							
attachment to the dwelling, building or structure, base and/or footing	s, etc. An engineering analysis showing compliance							
with the current adopted Ohio Builing Code, NEC, and Fire Code shal	l be prepared by a registered design professional							
and shall be submitted at the time of application. This analysis may b	be prepared by the manufacturer of the solar panel							
provided that he/she is a registered design professional in the State of Ohio. This analysis and construction documents								
shall be sealed according to the State of Ohio Seal Law								



**TO:** Chairman Boyle and Members of the Planning Commission

**FROM:** Christine Gibboney, Administrative Assistant

**RE:** 944 S Main Street- Holiday Harbor- Heating Storage Bldg.

**DATE:** November 20, 2024

Address: 944 S. Main Street PPN 42-00710.000 Current Zoning: B-3

Owner/Applicant: Owner/Applicant: Mike Solberg and Tom Solberg Jr.

#### **Subject Matter/Background**

Applicant is seeking to construct a new 68 x 164 heated boat storage building on their parcel in the same general location as similar existing storage buildings.

#### **Land Use and Zoning**

B-3 General Business- Marina Operations. The property is comprised of a couple separate parcels, both of which are zoned B-3.

#### **Applicable Code Sections**

#### 1125.03- B-3 General Business District-

The business is identified as a Principal Permitted Use within the B-3 District regulations. The only applicable sections pertain to height and frontage, both of which will comply:

- (e) <u>Height Regulations.</u> No principal or accessory structures shall exceed three stories or forty feet in height, except as provided in Section <u>1137.02</u> and subject further to review and authorization by the Board. (Ord. 1990-20. Passed 11-26-90.)
- (f) Lot Area, Frontage and Yard Requirements.

Commercial uses: Minimum frontage of thirty feet; otherwise, none except for the provision of loading and unloading.

#### **Staff Analysis/ Recommendation:**

The proposed 11,152 sq. ft. heated boat storage building will have a building height of 30', and the parcel exceeds the required min. frontage satisfying the requirements Section 1125.03 for the site plan. Staff consulted with the Fire Department for any comment/input on the distances between the buildings and have been advised they have no concerns as proposed. The exterior of the building will be blue, with white trim, doors and awnings to match existing buildings. Exterior lighting shows downward shielding. Staff is in support of the site and design plans as presented.

Attachments: Application & Plans

### **Planning Commission (PC)**

#### Commercial Site Plan Application/Design Approval-Exterior/Design-Signage Only

DATE: 10/24/24

Property Owner
Name: HOLIDAY HARBOR MARINA
Address: 944 5. MAIN ST. HURON, OH 44839
Phone: (419) 432-2140
Email: MIKE @ HOLIDAY HARBOR. COM
Applicant Name: MIKE 4 TOM JR. SOLBERG
Company/Business Name: HOLIDAY HARBOR MARINA
Mailing Address: P.O. Box 527 HURON, OH 44839
Phone: (414) 433-2140 Email: MIKE @ HOLIDAY HARBOR.COM
Email: MICK & FROM THE TOTAL TO THE TENTE OF
Location and Description of Project
Address: 944 5 . MAIN ST. County Parcel #: 42 - 60710 -000
Existing Use: BOAT STORAGE Acreage/Area of Site:
Proposed Use: BOAT STORAGE Lot # (if applicable):
Estimated Value of Project: \$\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\
estimated value of Project. 10tal Sr. 11,132
New Construction Demolition
Addition to Existing Structure Other:
ZONING & FLOOD ZONE DISTRICTS
Zoning District: (R-1 R-1A R-2 R-3 B-1 B-2 B-3 I-1 I-2 P-1 MU)
Flood Zone: (A AE AO AH X-SHADED X)
Description of Project:
TOBOVE STORME DIN ONE TO DROUDE WINTER
68 X164 STORAGE BUILDING TO PROVIDE INDOOR HEATED BOAT STORAGE
SEE ARCHITECTS PLANS FOR DETAILS

SECTION 1. SITE PLAN APPROVAL *				
plan with following information must be incluformat:	ided with this a	іррпсацо	n and provided in	агрг
Legal Survey or Plat				£
Dimensions of the Lot/Property Lines				
	re (if applicabl	e)		
Size and Location of the Proposed Struct				
Front, Rear, and Side Setbacks of Existin		annlicahl	e)	
Front, Rear, and Side Setbacks of Propos	1 1 1 1 1 1 1	аррисави	~)	
Size and Location of the Existing Structure  Size and Location of the Proposed Structure  Front, Rear, and Side Setbacks of Existin  Front, Rear, and Side Setbacks of Proposed Structure				
Location of Sidewalks, Driveways, Drive	Aisles, Parking	g Areas (v	vith markings),	
Fire Lanes Location of all utility connect			0 )	
Plan for any curb cut/apron connection				
*A complete drainage plan must be inclu	ded for projec	ts that re	esult in grading, p	paving, site
modification, or new construction.				
SECTION 2. DESIGN APPROVAL (EXT				
The application fee of \$150.00 and complete pl with this application and provided in a PDF for		the follow	ring information n	nust be included
with this application and provided in a FDF for	mat.			
Photographs of Existing Conditions				
Elevations of Proposed Modifications				
Paint or Color Samples				
Exterior Building Material Samples				
Landscape Plan				
Exterior Lighting Plan				
Commercial Signage- Site Plan, Colored	Elevations, Des	cription o	of sign materials. I	Illumination
specifications. Complete the table below:			,	
specifications. dompiete the table below.				
Sign Type (circle)			Dimensions	
Sign #1: Wall Window Other:	Height	Width	Display Area	Height (if ground)
Ground Changeable Copy	X	THE PERMITS OF	=sq. ft.	ft.
Sign Type (circle)  Wall Window Other:	Height	Width	Dimensions Display Area	Height(ifground)
Sign #2: Ground Changeable Copy	X	Widdi	= sq. ft.	ft.
Sign Type (circle)			Dimensions	
Wall Window Other:	Height	Width	Display Area	Height (if ground)
Sign #3: Ground Changeable Copy	X		= so ft	ft.

Height

Width

X

Dimensions

Display Area

sq. ft.

Height (if ground)

Sign Type (circle)

Window

Changeable Copy

Other:

Wall

Ground

Sign #4:

SECTION 3. DESIGN APPROVAL (COMMERCIAL SIGNAGE ONLY) \* The application fee of \$50.00 and complete plans to include the following information must be included with this application and provided in a PDF format.

Signage Site Plan with all setback dimensions	
Rendering(s) of all signs with detail of dimensions,	construction materials, graphics, illumination

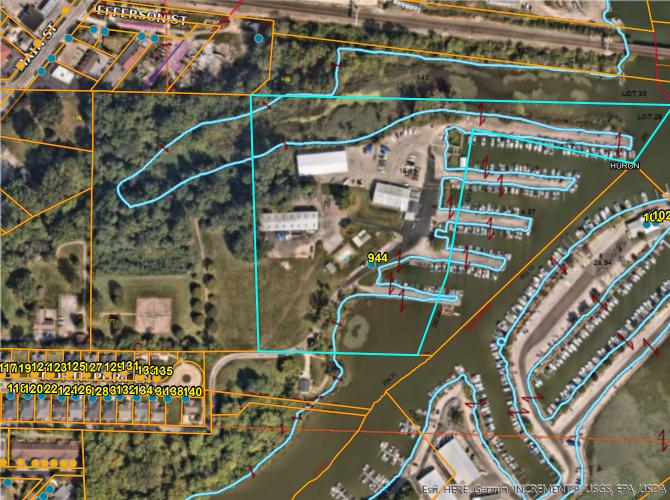
Height (if ground)
Height (if ground)
ı. ft. ft.
Height (if ground)
ı. ft. ft.
Height(ifground)
.ft. ft.

PLEASE NOTE: Upon approval from the Planning Commission, your project may require Engineering Plan review and Storm Water/Erosion Control Plan review, associated fees will apply. Zoning and/or Building Permits may be required, associated permit fees will apply. All Contractors on your project must be registered with the City. Contact the Planning and Zoning Department with any questions: 419-433-5000 ext. 1302.

work is authoriz	ed by the owner of record and/or I have be	en authorized to	make this
	n authorized agent, and we agree to conforn		
regulations, and	ordinances. All information contained with	in this applicatio	n and
supplemental ma	aterials is true and accurate to the best of m	ny knowledge and	l belief.
Applicant Signature:	Ally leftly	Date: _	10-29-24
Owner Signature:	AMP HILL	Date:	10-22-29
For Departmental Use On	aly:		

I hereby certify that I am the owner of record of the named property or that the proposed

Date of Submission: \(\) PC Meeting Date: Application Fee:





DESIGN	LOADS
TRUSS DESIGN LOADS (FOR 4'-C) TOP CHORD LL. DL. BOTTOM CHORD DL. TOTAL LOAD	25 P.S.F. 5 P.S.F. 5 P.S.F. 35 P.S.F.
ROOF LIVE LOAD (SNOW LOAD)	125 P.S.F. L.L. 25 P.S.F. + DRIFTING
GROUND SNOW LOAD F FLAT ROOF SNOW LOAD F MINIMUM: RAIN ON SNOW SURCHARGE	PG = 20 PSF (NOT USED) PF = 18 PSF (NOT USED) 23 PSF (NOT USED)
SNOW EXPOSURE FACTOR CE SNOW IMPORTANCE I THERMAL FACTOR Ct	= 1.0 = 1.0 = 1.0
ULTIMATE WIND SPEED WIND EXPOSURE CLASSIFICATIO WIND IMPORTANCE FACTOR CLADDING WIND PRESSURES WINDWARD LEEWARD	1.0
SEISMIC USE GROUP	GROUP
SITE CLASS	D
BASIC SEISMIC FORCE RESISTING SYSTEM	BRACED FRAME
DESIGN CATEGORY	В
ANALYSIS PER	OBC 1613.3
DESIGN SOIL PRESSURE	2,000 P.S.F. (ASSUMED)

PPN: 42-00710.000

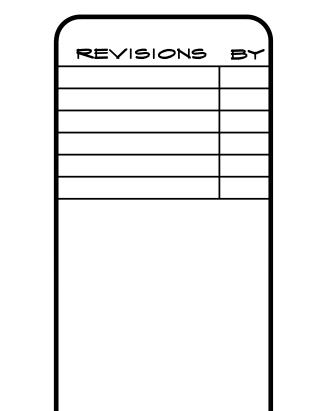
PROPOSED
BUILDING

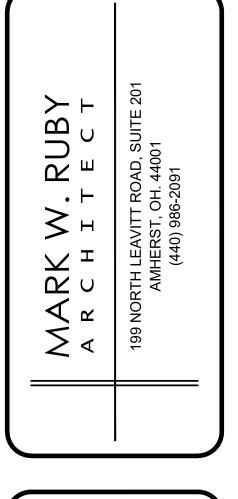
±60'-0"

NOTE:
STOR,M SEWER INFILTRATION TRENCH TO BE INSTALLED PER OWNER'S REQUIREMENTS.

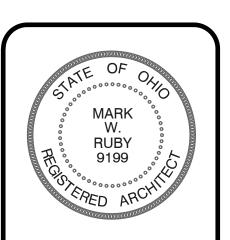
CODE REVIEW	
USE GROUP : S-I	
CONSTRUCTION TYPE : V B	
BUILDING AREA: 11,152 S.F.	
OCCUPANCY: 23	

DRAWING INDEX					
SD-I	SITE PLAN, CODE REVIEW, DRAWING INDEX,				
	DESIGN LOADS				
A-I	FLOOR PLAN, DOOR & FINISH SCHEDULE,				
	FOUNDATION LEGEND, FOUNDATION NOTES,				
	WALL SECTION, GROUNDING ROD DETAIL				
A-2	BUILDING ELEVATIONS				
A-3	ELECTRICAL/MECHANICAL PLAN, MECHANICAL				
	EQUIPMENT SPECIFICATIONS, ELECTRICAL				
	SYMBOL LEGEND, RISER DIAGRAM				





NEW BUILDING FOR
HOLIDAY HARBOR MARINA
944 SOUTH MAIN ST.
HURON, OH



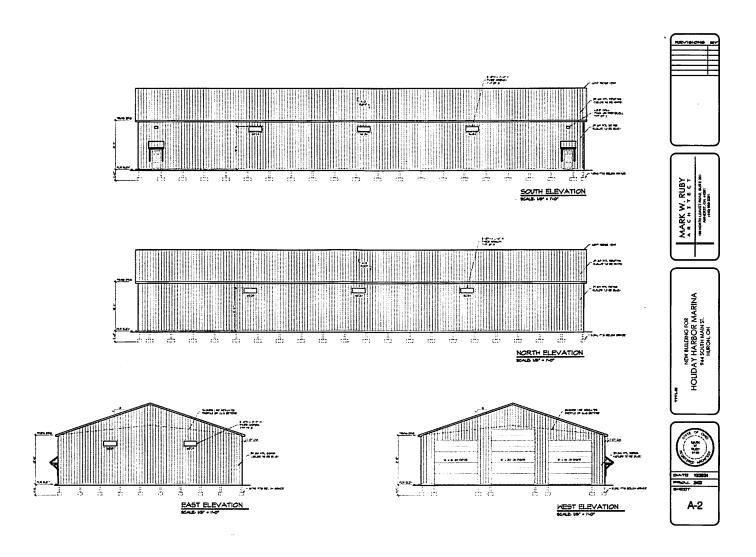
PROJ. 2463

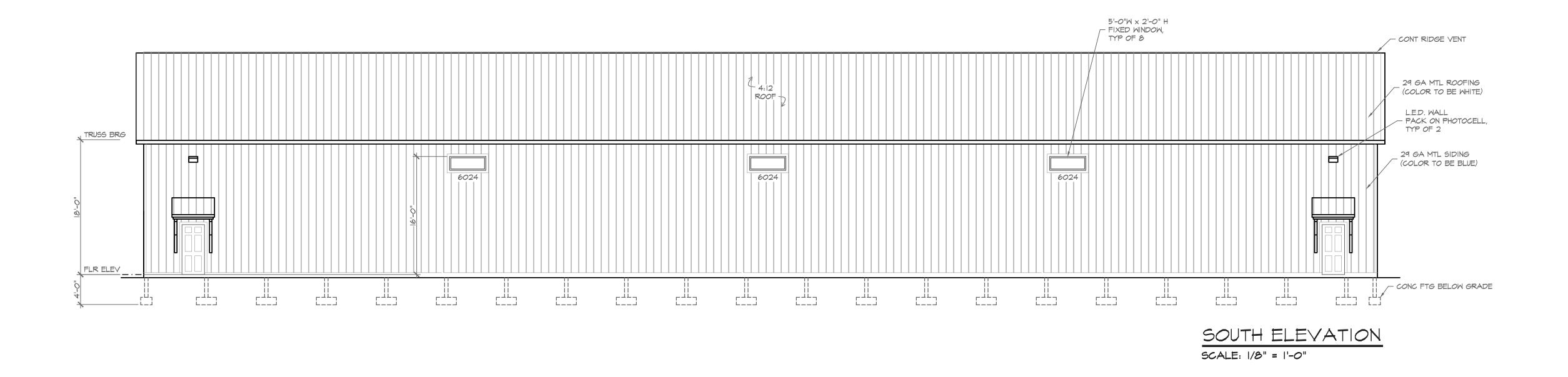
SHEET

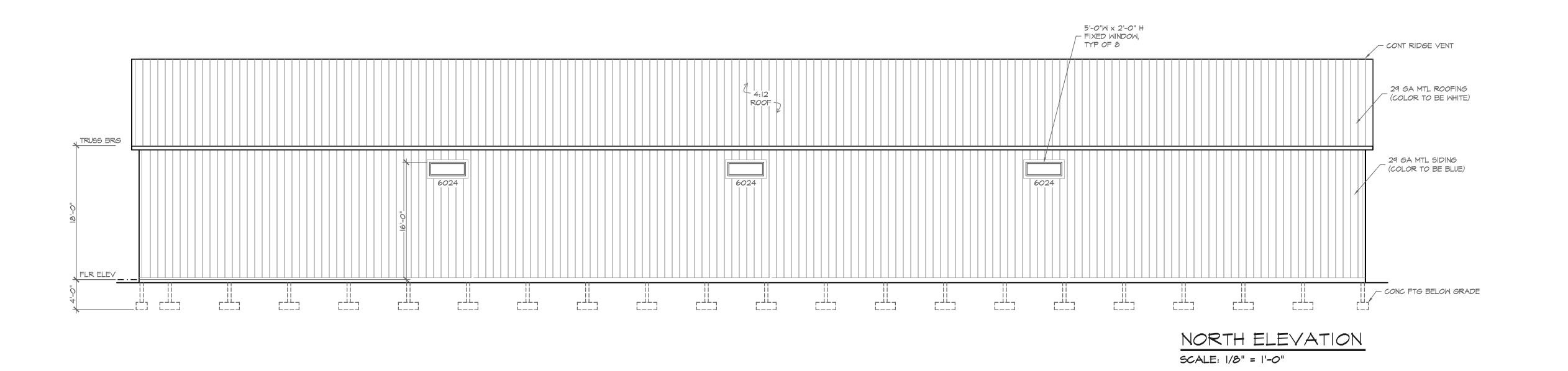
SD-1

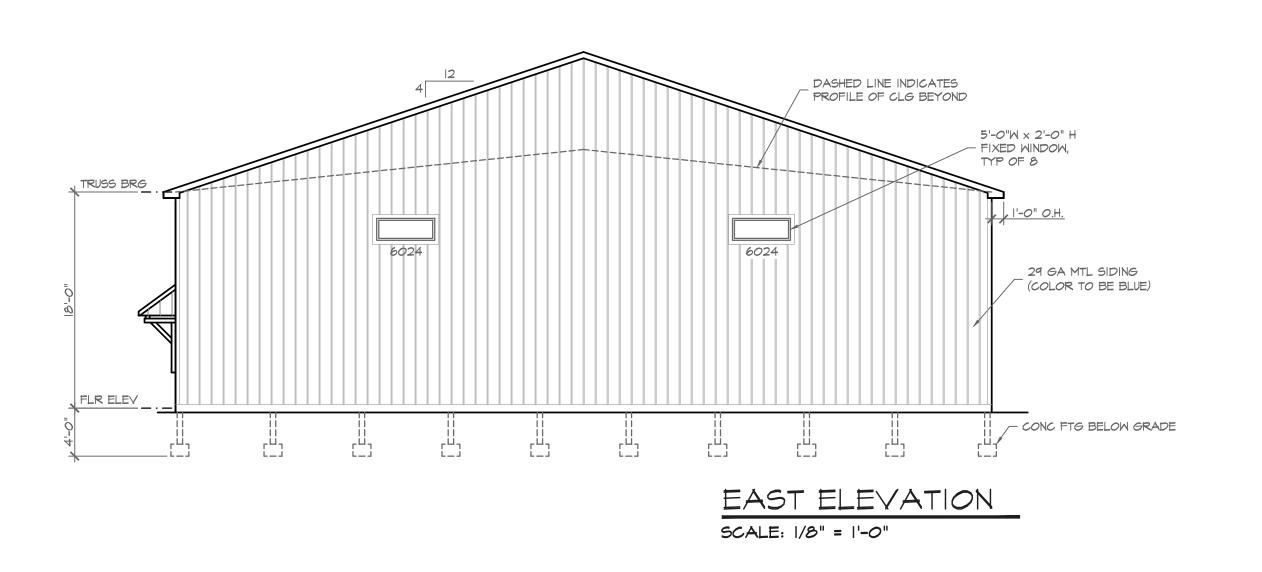


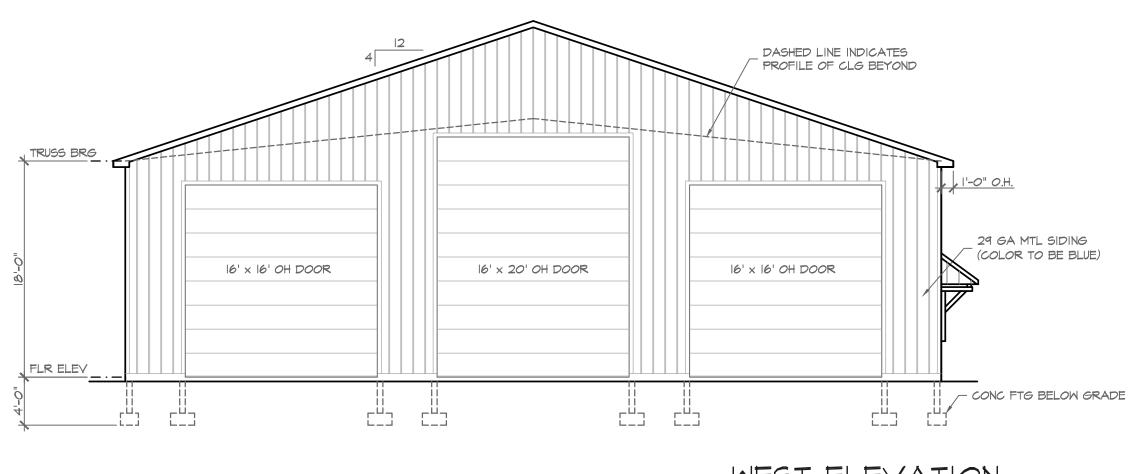
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WEST ELEVATION

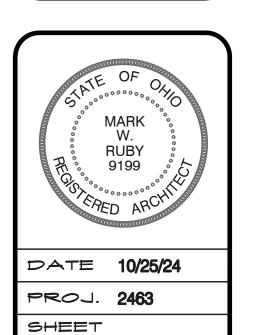
SCALE: 1/8" = 1'-0"

MARK W. RUBY
ARCHITECT

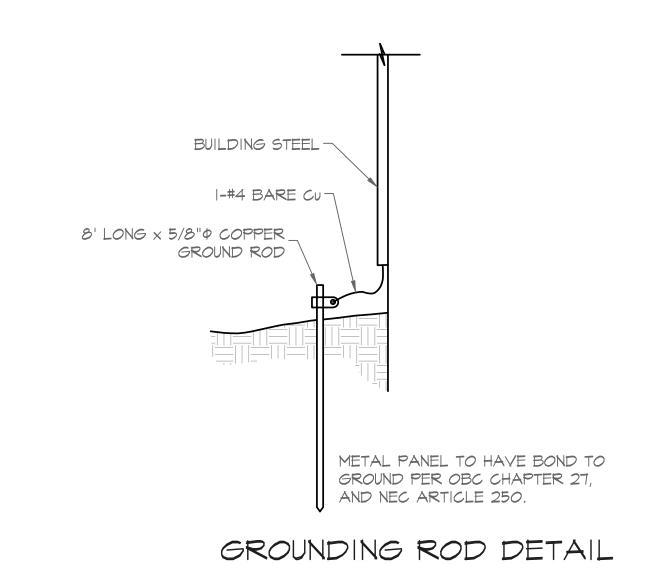
199 NORTH LEAVITT ROAD, SUITE 201
AMHERST, OH. 44001
(440) 986-2091

REVISIONS BY

NEW BUILDING FOR
HOLIDAY HARBOR MARINA
944 SOUTH MAIN ST.
HURON, OH



A-2



SCALE: N.T.S.

DOOR SCHEDULE MAT'L FRAME HDW. REMARKS INSUL 6 PANEL STL DOOR TO BE READILY OPENABLE FROM EGRESS SIDE W/O KEY OR SPECIAL KNOWLEDGE. STL 1 3/4" HM 6'-8" LOSER INSUL OH DOOR STL 16'-0" 15/8" STL 20'-0" INSUL OH DOOR 15/8"

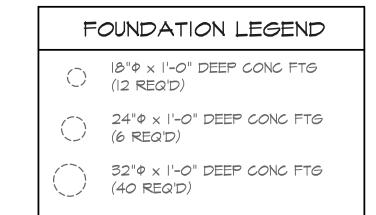
DOOR NOTES:

1) ALL DOORS TO HAVE H.C. ACCESSIBLE LEVER HANDLES & H.C. APPROVED THRESHOLDS. (THRESHOLDS SHALL NOT EXCEED 1/2").

2) ALL MEANS OF EGRESS DOORS TO BE READILY OPENABLE FROM EGRESS SIDE W/O KEY OR SPECIAL KNOWLEDGE.

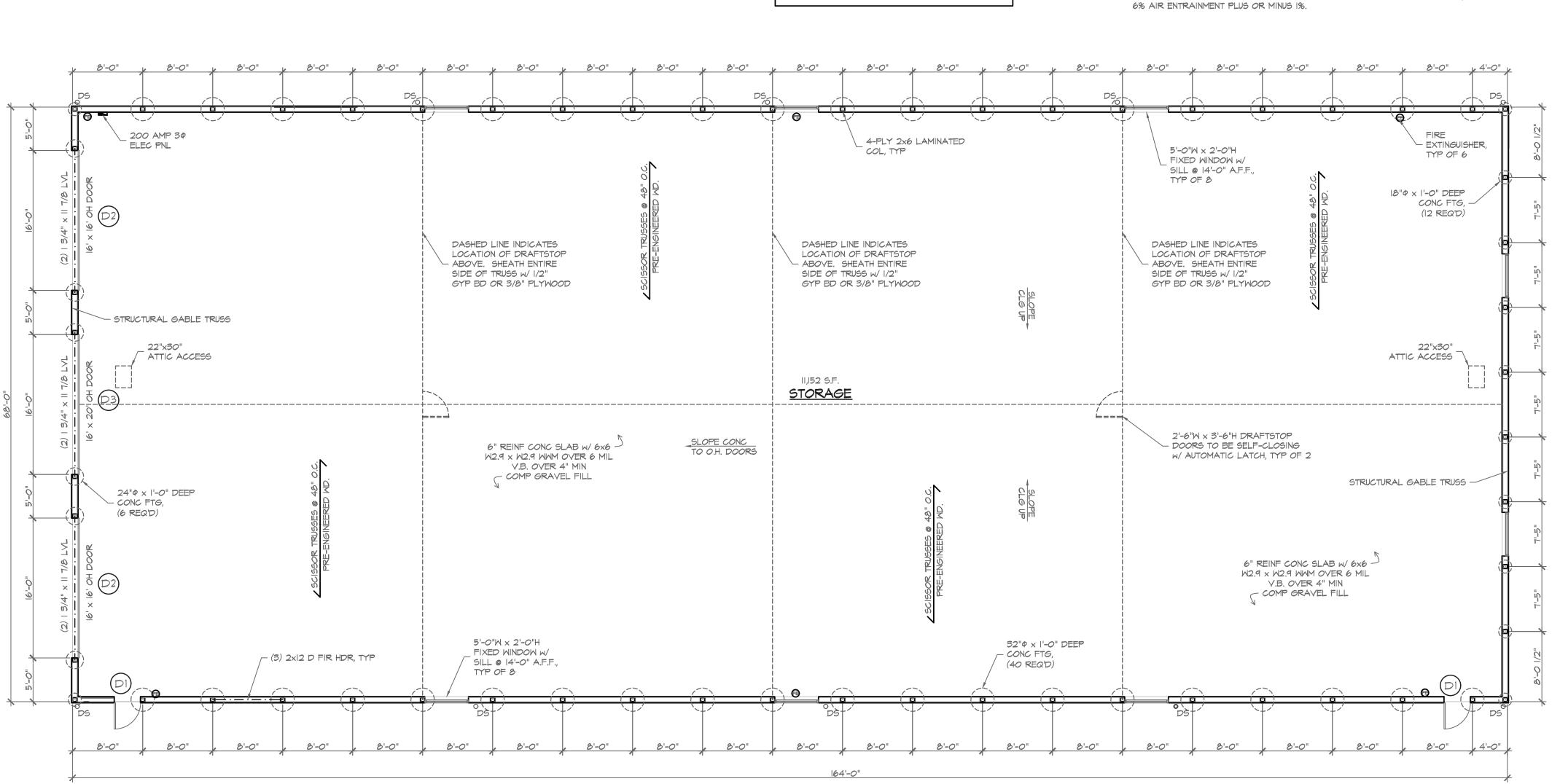
3) THERE SHALL BE A LEVEL LANDING ON EACH SIDE OF DOOR EXCEPT FOR THE EXTERIOR LANDING WHICH IS PERMITTED TO SLOPE A MAX OF 2%.

FINISH SCHEDULE								
NO.	ROOM NAME	BASE	FLOOR	MALLS N. E. W. S.		CEILING	HGT.	REMARKS
	STORAGE	-	CONC	29 GA MTL		29 GA MTL	18'-0"	CONC FLOOR W/ SEALER. C.L.G HT VARIES FROM 18' TO 21'-6"

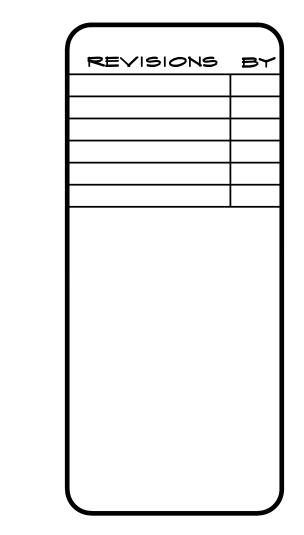


FOUNDATION NOTES:

CONCRETE IN FOUNDATIONS SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3,000 PSI IN 28 DAYS. ALL OTHER CONCRETE SHALL BE 4,000 PSI IN 28 DAYS. EXTERIOR CONCRETE TO BE 4,000 PSI IN 28 DAYS WITH AIR ENTRAINMENT TO MEET ASTM C 260, SPECIFICALLY



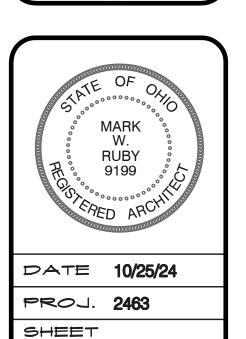




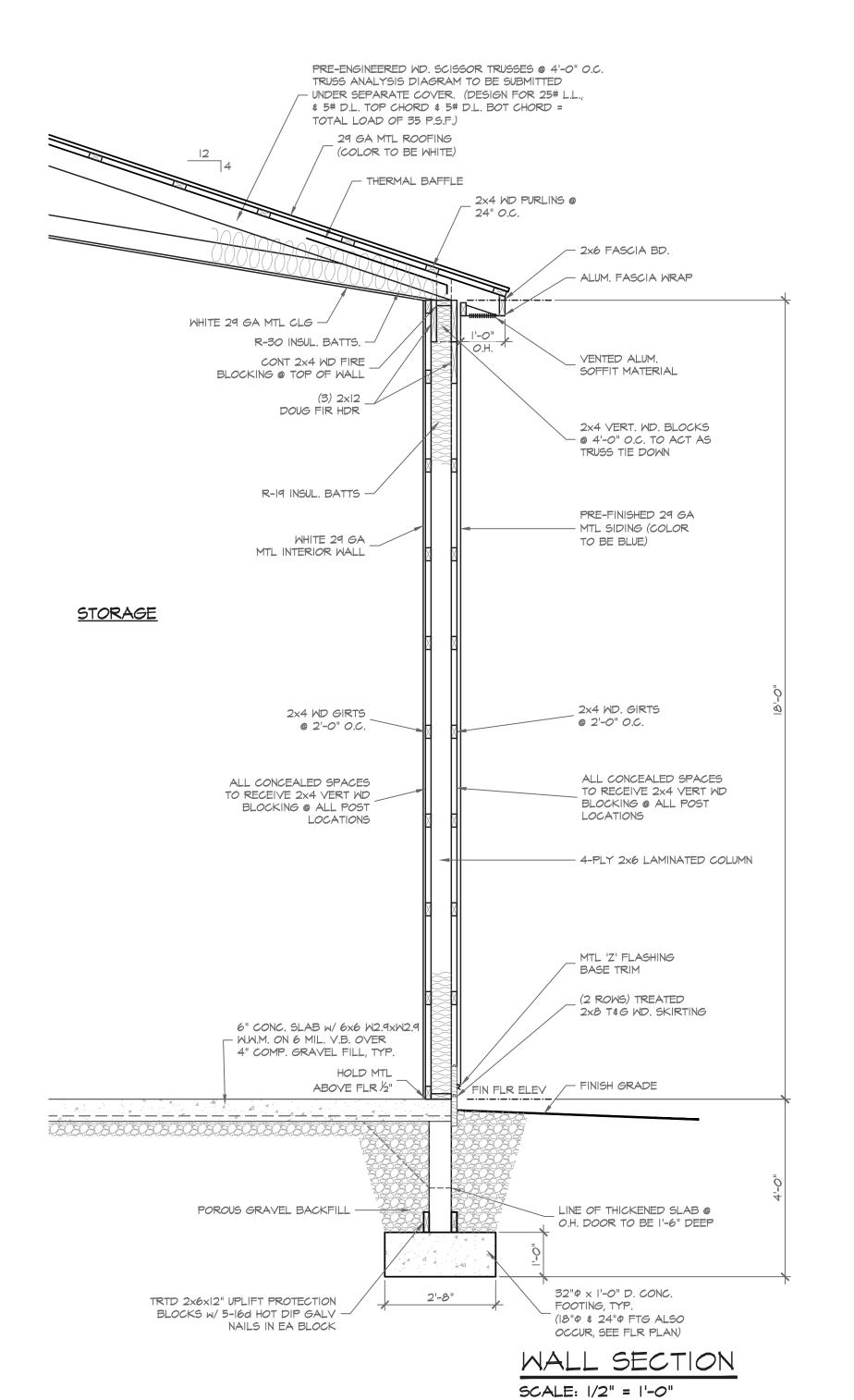
MARK W. RUBY
A R C H I T E C T

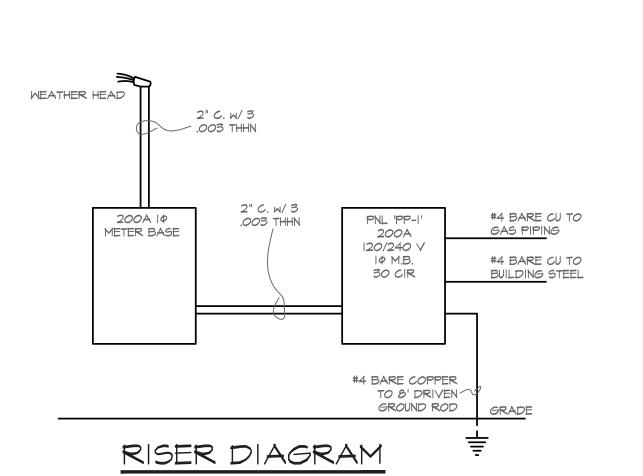
199 NORTH LEAVITT ROAD, SUITE 201
AMHERST, OH. 44001
(440) 986-2091

NEW BUILDING FOR
HOLIDAY HARBOR MARINA
944 SOUTH MAIN ST.
HURON, OH

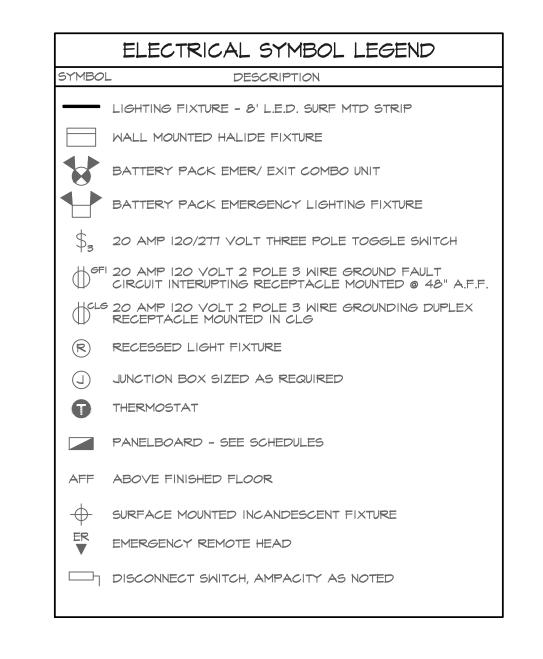


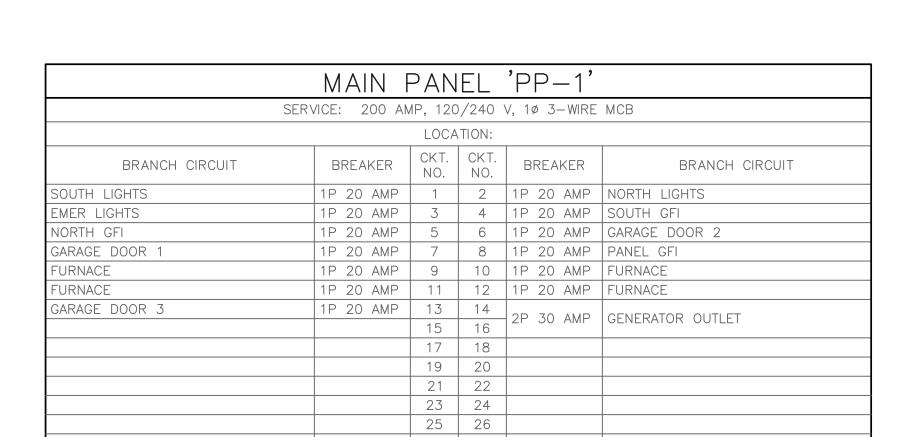
A-1





SCALE: N.T.S.





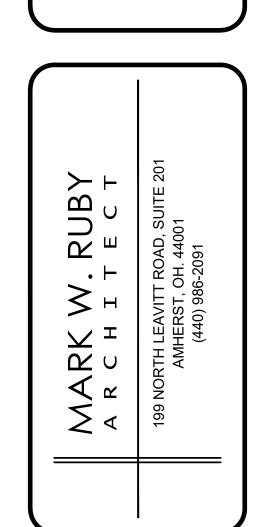
27 28 29 30

FURN WARM-AIR FURNACE

MECHANICAL EQUIPMENT SPECIFICATIONS

ARMSTRONG AIR MODEL #A96DF2E

DOWNFLOW AIR SYSTEM



ARINA

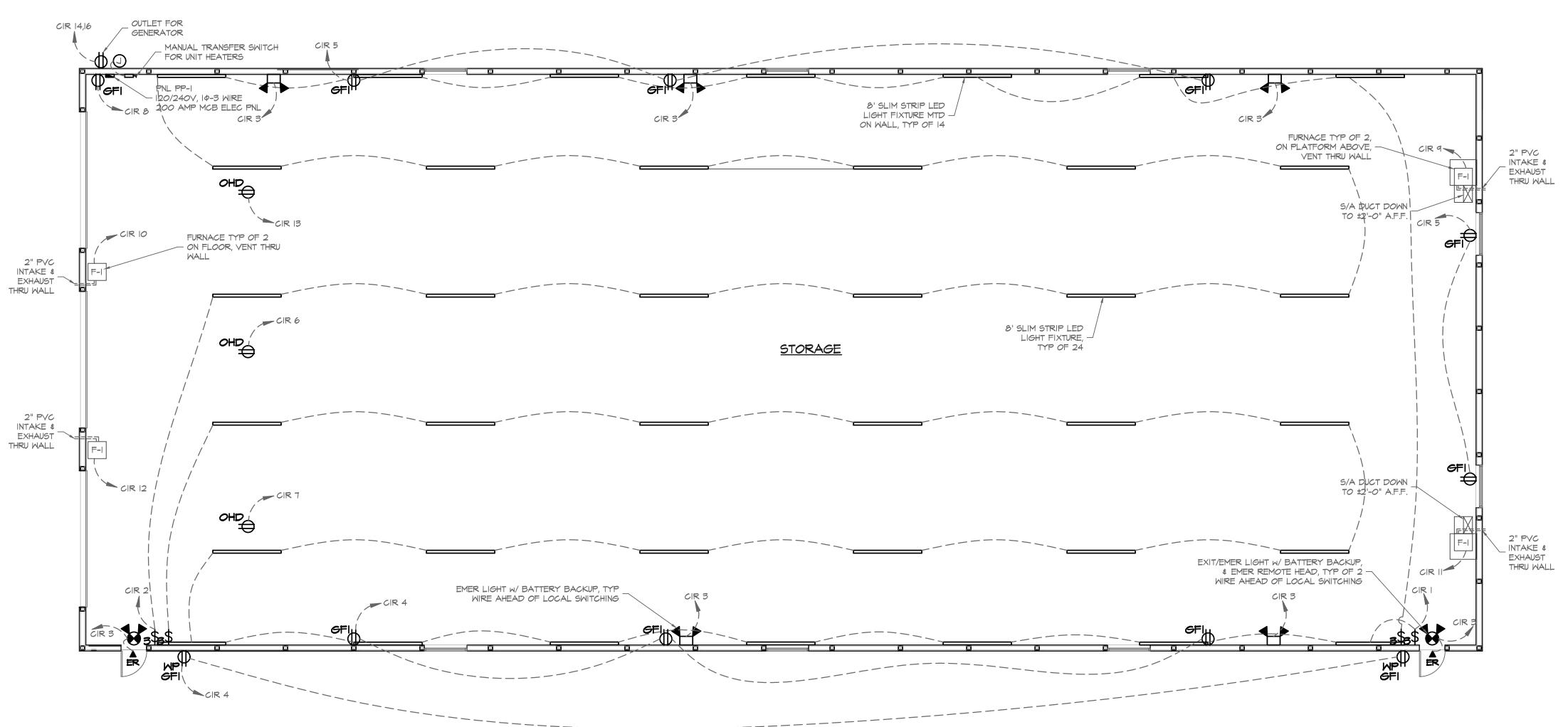
NEW BUILDING FOR NAY HARBOR N 944 SOUTH MAIN ST HURON, OH

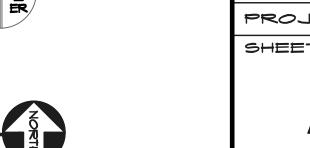
HOLID,

MARK

RUBY 9199

REVISIONS BY





ELECTRICAL/MECHANICAL PLAN

SCALE: 1/8" = 1'-0"

PROJ. 2463
SHEET









**TO:** Chairman Boyle and Members of the Planning Commission

**FROM:** Christine Gibboney, Administrative Assistant

**RE: Setting a Public Hearing-** Amendment to R-3 PUD Turtle Bay Condos

**DATE:** November 20, 2024

Address: Turtle Bay Condominiums Lot 216 -vacant parcel

PPN 42-00401.057 Current Zoning: R-3 PUD

Owner/Applicant: Richard & Tracy Ranchoff

#### Subject Matter/Background

The owners of one lot (Lot 216, PPN 42-00401.057), with approval of the HOA, are seeking to reduce the rear yard setback of the specified lot from 25' to 10'. This is an odd shaped corner lot within the development, which has two "front" yard setbacks of 25', one side yard setback of 10', and the current rear yard setback of 25'. (survey map attached)

#### **Staff Analysis/ Recommendation:**

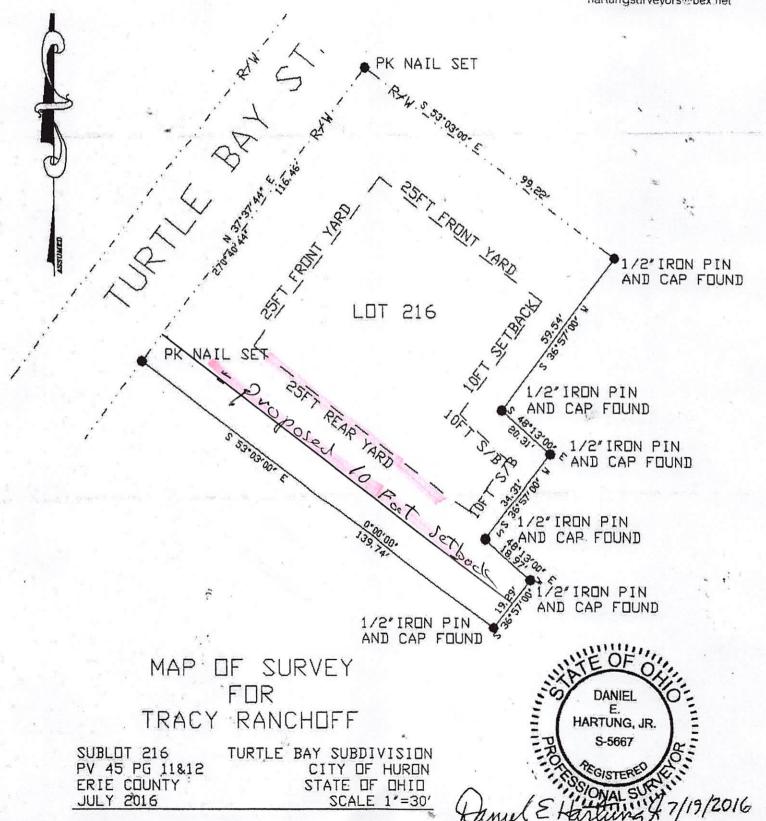
Staff is seeking a motion to set a **Public Hearing at your next meeting, Wednesday, December 18**<sup>th</sup> **at 5pm** to consider this amendment to the R-3 PUD. The owners have confirmed their availability to be in attendance.



Daniel E. Hartung Jr., PE, PS

#### RANCHOFF 1227 CLEVELAND RD W HURON, OH 44839

346 North Main St. • P.O. Box 426 • Huron, OH 44839-0426 (419) 433-4321 • fax (419) 433-7879 • hartungsurveyors@bex.net





TO: Chairman Boyle and Members of the Planning Commission and Design Review Board

FROM: Christine Gibboney, Administrative Assistant

**RE:** Code Amendment – Chapter 1131 Landscape Requirements- Residential Lighting

DATE: November 20, 2024

### Code Amendment- Chapter 1131-Landscape Requirements- New Section- Residential Lighting 1131.11

In response to the city receiving complaints over the last several years from residents having issues with neighbors relating to light trespass onto their property, City Council had asked legal counsel to research and prepare legislation to address the issue of light trespass. Mr. Matthew Waters of Seeley, Savidge, Ebert & Gourash, will be in attendance to present this amendment.

The proposed legislation, prepared by Legal Counsel, has two components:

- 1) General Offenses Code-Chapter 541 Property Offenses: amendment to establish a criminal mischief offense for light trespass that encroaches on neighboring properties based on a reasonableness standard. Ordinance 2024-42 is currently at the City Council level going through its three readings. (Not being a Planning & Zone Code amendment-this legislation does not require Planning Commission review or recommendation)
- 2) Planning & Zoning Code-Chapter 1131 Landscape Requirements. A new section (1131.11) has been drafted to address standards and regulations for exterior residential lighting.
- 3) Redline draft w/edits and a clean copy draft is enclosed for your review.

#### **Staff Analysis/Recommendation:**

The proposed draft of Section 1131.11 has been internally vetted by Administration and staff, with any/all inquiries and comments addressed and contained in the final draft.

By having this ordinance in place, staff in the Planning & Zoning Department, will have a code that provides general requirements and standards for residential lighting and a code that can be referenced when reports of light trespass are made.

- The code will apply to all new and existing outdoor lighting on residential properties.
- Staff will additionally add reference information on this section to our Zoning Application, as it will apply to those doing new builds, additions, etc. - projects that require zoning permits.
- The department will not be looking for or issuing violation notices to all existing nonconforming lighting.
- There is currently no zoning permit application to add/change lighting currently, nor would there be a permit application associated with this new section.
- Staff would be referencing this section to address a neighbor complaint of light trespass and provide a Notice of Violation and Order to Correct based on the regulations. If the Notice of

Violation and Order to Correct is ignored, staff would report the case to the Police Department to handle through the General Offenses Code.

Staff is seeking review and recommendation on the amendment from this Commission to City Council.

#### **CHAPTER 1131**

#### iirements

	Landscape Requirements
<u>1131.01</u>	Purpose.
1131.02	Landscape plan requirements.
1131.03	Selection, installation and maintenance of plant materials.

1131.04 General landscape design standards.

1131.05 Parking lot landscaping.

1131.06 Buffer yards.

1131.07 Screening requirements.

1131.08 Tree preservation.

1131.09 Approval process for required landscaping, fences and walls.

1131.10 Flexibility.

1131.11 Outdoor Lighting Regulations.

**Appendix A - Buffer Yard Requirements.** 

#### **CROSS REFERENCES**

Conformance with Performance Standards - see P. & Z. Chap. 1121.06

Nonconformity - see P. & Z. Chap 1121.07

Residence Districts - see P. & Z. Chap. 1123

Non-residence Districts - see P. & Z. Chap. 1125

Mixed-use Districts - see P. & Z. Chap. 1127

Sign Regulations - see P. & Z. Chap. 1131

Off-street Parking and Loading Regulations - see P. & Z. Chap. 1133

#### D-R-A-F-T

#### 1131.11 OUTDOOR LIGHTING REGULATIONS.

#### (a) Definitions.

- (1) "Light Source" means a component that produces light, including a light bulb.
- (2) "Light Fixture" means an assembly including a light source and a housing or other structure that holds the light source.
- (3) "Fully Shielded" means a quality of a light fixture where light emitted therefrom is projected below the horizontal plane.

#### (b) Purpose.

The purpose of this Section is to regulate the selection, installation, configuration, placement, and use of outdoor light fixtures to inhibit light projected from an outdoor light fixture from unreasonably shining, glaring, reflecting, or projecting onto the property of another ("Light Trespass").

#### (c) General Requirements.

- (1) New and Existing Outdoor Light Fixtures. All new and existing outdoor light fixtures installed and maintained upon residential properties are subject to the following requirements:
  - A. An outdoor light fixture shall not be directed at the property of another or unreasonably shine, glare, reflect or project light onto the property of another.
  - B. An outdoor light fixture that is not fully shielded shall be turned off between 9:00 p.m. Eastern Standard Time and sunrise, except when used for security or aesthetic purposes or to illuminate private walkways, roads or driveways, in which case such outdoor light fixture shall be equipped with a motion sensor for activation and deactivation.
  - C. The use of flashing, rotating, or moving outdoor light fixtures is prohibited, except for an outdoor light fixture used as holiday light displays where each light source of such outdoor light fixture has an output of 0-260 lumens.
  - D. Light trespass shall be reduced to the maximum extent feasible, and it is encouraged to project light from an outdoor light fixture downward (rather than upward or horizontal) with the intention of projecting light on the ground, and if needed to comply with this Ordinance, by using adequate shielding of light fixtures, motion sensors, light sensors, or timers.
- (2) New Outdoor Light Fixtures. All new outdoor light fixtures installed after the effective date of this Ordinance and thereafter maintained on residential property shall be fully shielded are subject to the following requirements:
  - A. An outdoor light fixture shall be fully shielded.
  - B. An outdoor light fixture shall not be aimed more than 45 degrees from straight down.

#### (d) Exceptions.

Commented [MW1]: I removed this so that only security lights can be on after 9pm, and all other lights are off during these times.

**Commented [ML2]:** Are Christmas lights distinguished from this? An exception?

**Commented [MW3R2]:** This should address Christmas lights.

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Commented [ML4]: If the light is fully shielded, what do we care about the angle? Item A seems to be a catch all in my opinion.

Commented [MW5R4]: Good point. 2A is now incorporated into 2. 2B now removed.

#1190956v1 - 2nd Draft Outdoor Lighting Regulations 9-17-24 - SSEG reds#1190956v1 - 2nd Draft Outdoor Lighting Regulations 9-17-24 - SSEG reds#1188087v1 - Draft Outdoor Lighting Regulations

#### D-R-A-F-T

- (1) The requirements of Section (c)(2)(A) for new outdoor light fixtures do not apply to the following:
- A.(1) An outdoor light fixture where each light source of such outdoor light fixture hashaving as maximum output of 0-260 lumens, which may be unshielded. xx[Matt Waters comment: with reference to incandescent lights, the wattage = lumens/15. This is equivalent to about 0-17.33 watts. Christmas light bulbs are about 7 watts. I got this lumen range from another city's ordinance. This also means the lights can be unshielded, and thus you will see the light source. However since section (c)(1)A still applies, they still can't direct the lights at the property of another or unreasonably shine, glare, reflect or project light onto the property of another]xx
- B.(2) An outdoor light fixture where each light source of such outdoor light fixture hashaving a maximum output of 261-1000 lumens xx[Matt Waters comment: equivalent to about 17.33-66.66 watt incandescent]xx, which shall be at least partially shielded by having an opaque top and translucent sides, provided its light source is not visible.
- (2)(3) The requirements of Section (e)(2)(B) do not apply to an∆n outdoor light fixture used predominantly for lighting objects including but not limited to facades, landscaping, fountains, displays and statuary, which shall be so installed and aimed as to inhibit light projecting past the object being illuminated.
- (e) In addition to the requirements set forth herein, an outdoor light fixture shall be installed in conformity with all other applicable provisions of the codified Ordinances of the City of Huron, Ohio.

xx[Todd Schrader to Matt Waters: Can you please check Ordinances – it is my understanding that commercial/zoning codes already prohibit light being cast upon residential areas .... just to make sure nothing more needs to be added here (maybe a cross reference to the commercial sections for posterity

#### xx[Matt Waters comment: Here is what I found:]xx

- A. 1125.06(b)(4) P-1 Off-Street Parking District: "All lighting used to illuminate an off-street parking area shall be arranged so as to reflect the light away from adjoining premises in any R District."
- B. 1126.15(d)(6) Self-Service Storage and Mini-Storage; Lighting: "All lights shall be shielded to direct light onto the established buildings and away from adjacent property, but may be of sufficient intensity to discourage vandalism and theft. All lights shall be mounted at a height not exceeding that of the building."
- C. 1126.17 REGULATIONS FOR INDUSTRIAL GREENHOUSES. This is a comprehensive ordinance dealing with indoor greenhouse lighting and has many definitions relating to the shielding, lumens, etc., and requires the submission of lighting plans to city manager.
- D. 1127.05(a)(4) Mixed Use District DEVELOPMENT STANDARDS AND CRITERIA: "Offstreet Parking. The layout of parking areas, service areas, and related entrances, exits, signs,

#1190956v1 - 2nd Draft Outdoor Lighting Regulations 9-17-24 - SSEG reds#1190956v1 - 2nd Draft Outdoor Lighting Regulations 9-17-24 - SSEG reds#1188087v1 - Draft Outdoor Lighting Regulations

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Commented [MW6]: Added to take into account fixtures, such as Christmas string lights, that have multiple bulbs each less than 260 lumens, but in aggregate would be more than 260 lumens.

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Commented [ML7]: Looks like this night address my concern on holiday lights.

Commented [MW8R7]: This only addresses Christmas lights not needing to be fully shielded. Flashing Christmas lights are addressed in amendments to (c)(1)C.

#### D-R-A-F-T

- lighting, noise sources or other potentially adverse influences shall be designed and located to prevent and avoid adverse impacts to the Mixed Use Development as well as those areas adjacent to the Development."
- E. 1127.09 (i) Mixed Use Granary District: "Lighting within the district shall be employed in such a manner as to prevent glare or direct light onto adjacent residential property."
- F. 1129.06(j) (Sign) Design and construction standards: "All signs in business and industrial districts may be illuminated provided that light sources to illuminate such signs shall be shielded from all adjacent residential buildings and streets, and shall not be of such brightness so as to cause glare hazardous to pedestrians or motorists, or as to cause reasonable objection from adjacent residential districts."
- G. 1129.07(a)2 Sign Illumination Standards: "Signs shall be permitted to be illuminated in compliance with the following: A. Light sources shall be shielded from all adjacent buildings and streets. B. Lights shall not be of such brightness so as to cause glare that is hazardous to pedestrians or motorists. C. Light shall be directed in a way to reduce glare and light distribution or trespass onto adjacent properties. Light intrusion and dispersion efforts shall be in effect to mitigate adverse effects of light trespass and glare onto residential properties.
- H. 1131.07(c)(1)C and (c)(2)E SCREENING REQUIREMENTS (Landscaping for outdoor storage and display areas for commercial building or residential subdivision) - "Lighting shall be placed and appropriately shielded as to not adversely impact adjacent properties."
- 1. 1131.07(d) SCREENING REQUIREMENTS: "Drive-Thru drive aisles abutting residential districts. Any portion of a drive-thru facility or aisle shall be screened from view when adjacent to residential properties in order to minimize the impact of exterior site lighting...from the vantage point of the residential property"
- J. 1133.16(f) IMPROVEMENT AND MAINTENANCE STANDARDS (off-street Parking and loading regulations) "Wherever a parking lot or garage is to be used during darkness, lighting shall be installed to provide an adequate standard of illumination over the entire parking lot and access or drive aisles within the parking area. All lights shall be shielded as to minimize glare will extend to adjacent property."
- K. 1139.01 PLANNING COMMISSION REVIEW "Upon the filing of an application for a building permit for every building or structure, other than a single family or a two-family dwelling, the applicant shall also submit a site development plan...including ... G. Lighting plan for the site including style and intensity of all parking lot and building mounted lights."

xx[Todd Schrader to Matt Waters: Chapter 1313 already requires lighting plan, so not as much of a threat on commercial – but give it a look, please.]xx – xx[Matt Waters comment: see below]xx

L. 1313.02 MINIMUM REQUIREMENTS FOR CONSTRUCTION – "Upon the filing of an application for a building permit for every building or structure, other than a single-family or a two-family dwelling, the applicant shall also submit a site development plan to the Zoning Inspector/Building Official. The site development plan shall include the following information...G. Lighting plan for the site including style and intensity of all parking lot and building mounted lights."

#1190956v1 - 2nd Draft Outdoor Lighting Regulations 9-17-24 - SSEG reds#1190956v1 - 2nd Draft Outdoor Lighting Regulations 9-17-24 - SSEG reds#1188087v1 - Draft Outdoor Lighting Regulations

#### D-R-A-F-T CLEAN COPY

#### 1131.11 OUTDOOR LIGHTING REGULATIONS.

#### (a) Definitions.

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- (2) "Light Fixture" means an assembly including a light source and a housing or other structure that holds the light source.
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  - C. The use of flashing, rotating, or moving outdoor light fixtures is prohibited, except for an outdoor light fixture used as holiday light displays where each light source of such outdoor light fixture has an output of 0-260 lumens.
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- (2) <u>New Outdoor Light Fixtures</u>. All new outdoor light fixtures installed after the effective date of this Ordinance and thereafter maintained on residential property shall be fully shielded.

#### (d) Exceptions.

The requirements of Section (c)(2) for new outdoor light fixtures do not apply to the following:

- (1) An outdoor light fixture where each light source of such outdoor light fixture has a maximum output of 0-260 lumens, which may be unshielded.
- (2) An outdoor light fixture where each light source of such outdoor light fixture has a maximum output of 261-1000 lumens, which shall be at least partially shielded by having an opaque top and translucent sides, provided its light source is not visible

#### D-R-A-F-T CLEAN COPY

- (3) An outdoor light fixture used predominantly for lighting objects including but not limited to facades, landscaping, fountains, displays and statuary, which shall be so installed and aimed as to inhibit light projecting past the object being illuminated.
- (e) In addition to the requirements set forth herein, an outdoor light fixture shall be installed in conformity with all other applicable provisions of the codified Ordinances of the City of Huron, Ohio.

